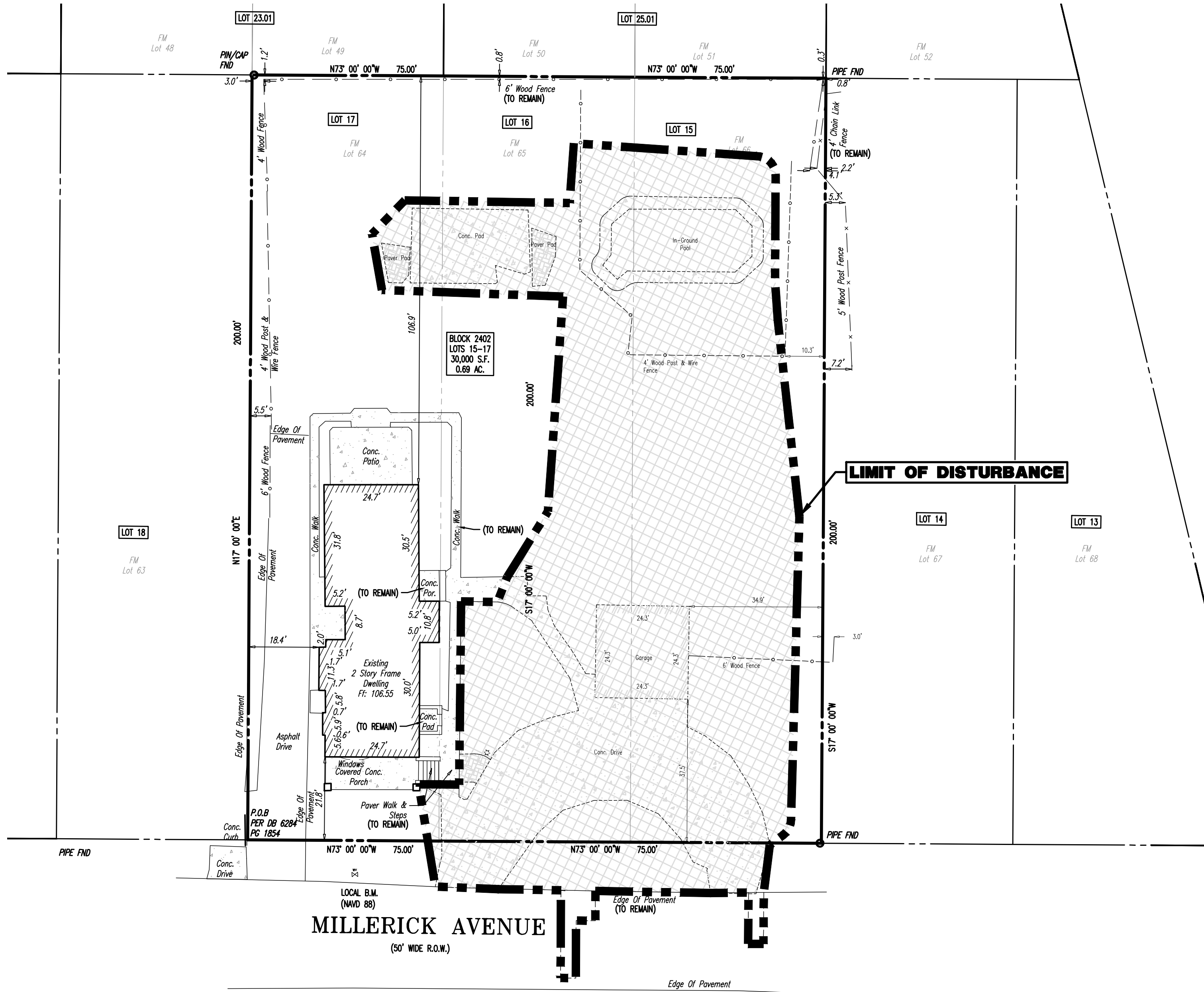




LIMIT OF DISTURBANCE = 15,256 SF. (0.350 Ac.)

DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR, BREAK BASEMENT FLOOR SLABS, SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL, SAND, FINE, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION WORK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. CONTEMPLATION OF ACTIONS NECESSARY TO ADDRESS ENVIRONMENTAL CONSIDERATIONS IS EXCLUDED FROM THIS PLAN SET. SUCH CONSIDERATIONS MAY INCLUDE, BUT ARE NOT LIMITED TO THE CLOSURE/HANDLING/TRANSPORTATION/DISPOSAL OF UNDERGROUND STORAGE TANKS; CONTAMINATED MEDIA; UNIVERSAL WASTE; POTENTIALLY HAZARDOUS MATERIALS, ETC. PRIOR TO INITIATION OF DEMOLITION, THE CONTRACTOR SHALL SPECIFICALLY CONSULT WITH PROJECT OWNERSHIP TO CONFIRM IF ENVIRONMENTAL CONCERNS EXIST AND IF CONSULTATION WITH THE ENVIRONMENTAL PROFESSIONAL RESPONSIBLE FOR THIS PROJECT IS NECESSARY OR APPROPRIATE.
20. GROUNDWATER MONITORING WELLS AND POTABLE WELLS (IF PRESENT) SHALL BE PROTECTED DURING DEMOLITION. IF PROTECTION IS NOT POSSIBLE, THE ENVIRONMENTAL PROFESSIONAL RESPONSIBLE FOR THIS PROJECT SHALL BE CONSULTED. ANY WELLS THAT CANNOT BE MAINTAINED SHALL BE DECOMMISSIONED BY A LICENSED WELL DRILLER AND COORDINATED SPECIFICALLY WITH THE RESPONSIBLE ENVIRONMENTAL PROFESSIONAL.

NOTES

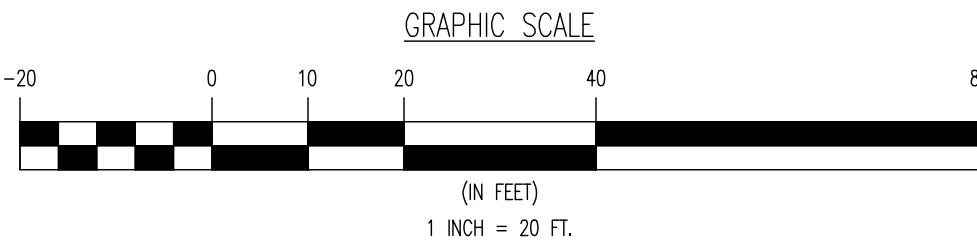
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE UTILITY PROVIDER AND THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

TREE PROTECTION NOTES

1. THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
2. WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
4. NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH, RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
5. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

DEMOLITION PLAN LEGEND

---	PROPOSED LIMIT OF DISTURBANCE LINE
---	PROPOSED TREE PROTECTION FENCE LINE
---	EXISTING IMPROVEMENTS TO BE REMOVED UNLESS OTHERWISE NOTED



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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TITLE: DEMOLITION PLAN	
PROJECT: JAY VENTURES LLC PROPOSED SINGLE-FAMILY DWELLING BLOCK 2402, LOTS 15, 16, & 17 154 MILLERICK AVENUE TOWNSHIP OF LAWRENCE, MERCER COUNTY, NEW JERSEY	JOB No: 5945-26-01149 DATE: 06/11/2026 DRAWN BY: DBS DESIGNED BY: BC CHECKED BY: DAT CHECKED BY: -
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908	DANIEL A. TARABOKIJA PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56963
ALL STATES REQUIRE REGISTRATION OF CONTRACTORS. IF ANY DESIGNER PREPARES TO SIGN THE SHEET'S OFFICIAL NUMBER, IT IS REQUIRED. FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM	
SHEET No: 3 OF 6 Rev. # 0	

GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:

BOUNDARY & TOPOGRAPHIC SURVEY
PETERSON SURVEYING & ENGINEERING, LLC
618 STOKES ROAD
MELFORD, NJ 08055
SURVEYOR FILE NO. 2026-065

2. APPLICANT/OWNER: JAY VENTURES LLC
50 MILL POND ROAD
JACKSON, NJ 08527
(947) 559-6265

3. PARCEL DATA: BLOCK 2402, LOT 15, 16 & 17
154 MILLERICK AVENUE
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

4. ZONE: R-4 (RESIDENTIAL 4 ZONE)

5. EXISTING USE: SINGLE-FAMILY DWELLING (PERMITTED USE) (§407.B)

6. PROPOSED USE: SINGLE-FAMILY DWELLING (PERMITTED USE) (§407.B)

7. SCHEDULE OF ZONING REQUIREMENTS (§407.E)

ZONE REQUIREMENT	R-4 ZONE	EXISTING LOTS 15-17	PROPOSED LOT A	PROPOSED LOT B
MINIMUM LOT AREA	7,500 SF	30,000 SF (0.69 AC)	15,000 SF (0.34 AC)	15,000 SF (0.34 AC)
MINIMUM LOT FRONTAGE	60 FT	150.0 FT	75.0 FT	75.0 FT
MINIMUM FRONT YARD SETBACK	30 FT	21.8 FT (E)	21.8 FT (E)	30.0 FT
MINIMUM REAR YARD SETBACK	35 FT	106.9 FT	106.9 FT	113.4 FT
MINIMUM SIDE YARD SETBACK	10 FT	18.4 FT	18.4 FT	18.0 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT	35.0 FT
MAXIMUM IMPERVIOUS SURFACE RATIO	0.60	0.302	0.395	0.221
MINIMUM USEABLE YARD AREA	20%	>20%	>20%	>20%
NEIGHBORHOOD CONTEXT DISTANCE	400 FT	±130.0 FT (E)	±200.5 FT (E)	±130.0 FT (E)
N/S: NO STANDARD	N/A: NOT APPLICABLE	(E): EXISTING NON-CONFORMANCE	(V): VARIANCE	

NEIGHBORHOOD CONTEXT – THE TERM "NEIGHBORHOOD CONTEXT" SHALL REFER TO THE STRUCTURES AND IMPROVED LOTS DEVOTED EXCLUSIVELY TO RESIDENTIAL USE WITHIN A SPECIFIED DISTANCE OF THE SUBJECT INFILL DEVELOPMENT LOT. THE NEIGHBORHOOD CONTEXT DISTANCE, AS SET FORTH IN THE BULK STANDARDS OF THE RESPECTIVE ZONING DISTRICTS, SHALL BE MEASURED IN BOTH DIRECTIONS FROM THE INFILL DEVELOPMENT LOT ALONG THE FRONTAGE STREET AND SHALL INCLUDE THE STRUCTURES IMPROVED LOTS ON BOTH SIDES OF SAID STREET(S).

USEABLE YARD AREA – A PORTION OF A FRONT, SIDE, OR REAR YARD THAT IS EXCLUSIVE OF ANY CRITICAL AREA

IMPERVIOUS SURFACE RATIO – THE TOTAL AREA OF IMPERVIOUS SURFACES DIVIDED BY THE TOTAL SITE AREA.

8. PARKING:

A. FOR RESIDENTIAL DEVELOPMENTS OF SINGLE-FAMILY DETACHED HOMES, OFF-STREET PARKING SHALL BE PROVIDED AS FOLLOWS: (§530.C.1 – RJS §521-4.14)

- FOR 2-BEDROOM UNITS, THERE SHALL BE 1.5 SPACES PER DWELLING UNIT.
- FOR 3-BEDROOM UNITS, THERE SHALL BE 2.0 SPACES PER DWELLING UNIT.
- FOR 4-BEDROOM UNITS, THERE SHALL BE 2.5 SPACES PER DWELLING UNIT.
- FOR 5-BEDROOM UNITS, THERE SHALL BE 3.0 SPACES PER DWELLING UNIT.
- FOR AN UNSPECIFIED NUMBER OF BEDROOMS, THE 4-BEDROOM PARKING CALCULATION SHALL APPLY.

B. GARAGE AND DRIVEWAY COMBINATIONS SHALL BE COUNTED AS FOLLOWS: (§530.C.1 – RJS §521-4.14)

- EACH GARAGE CAR SPACE SHALL BE COUNTED AS 1.0 OFF-STREET PARKING SPACE REGARDLESS OF THE DIMENSIONS OF THE DRIVEWAY.
- A ONE-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 2.0 OFF-STREET PARKING SPACES, PROVIDED THE DRIVEWAY MEASURES A MINIMUM OF 18 FEET IN LENGTH BETWEEN THE FACE OF THE GARAGE DOOR AND THE RIGHT-OF-WAY.
- A TWO-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 3.5 OFF-STREET PARKING SPACES, PROVIDED A MINIMUM PARKING WIDTH OF 20 FEET IS PROVIDED FOR A MINIMUM LENGTH OF 18 FEET AS SPECIFIED FOR A ONE-CAR GARAGE AND DRIVEWAY COMBINATION.

C. PARKING STALL SIZES FOR RESIDENTIAL USES SHALL BE NINE (9) FEET BY EIGHTEEN (18) FEET. (§530.D.1)

D. OFF-STREET PARKING REQUIREMENTS:

SINGLE-FAMILY DWELLING (LOT A)
(1 UNIT)*(2.5 PARKING SPACES/UNIT) = 2.5 SPACES REQUIRED

SINGLE-FAMILY DWELLING (LOT B)
(1 UNIT)*(2.5 PARKING SPACES/UNIT) = 2.5 SPACES REQUIRED

9. DRIVEWAY REQUIREMENTS

A. NO DRIVEWAY SHALL BE LOCATED CLOSER THAN 5 FEET TO A SIDE OR REAR PROPERTY LINE (§429.J.2)

B. THAT PORTION OF A DRIVEWAY LOCATED DIRECTLY IN FRONT OF THE DWELLING SHALL NOT EXCEED 20 FEET IN WIDTH. (§429.J.3)

C. NO CURB CUT TO A SINGLE FAMILY OR TWO-FAMILY DWELLING SHALL EXCEED 22 FEET IN WIDTH (§429.J.4)

D. DEVIATIONS FROM SUBSECTIONS J.2 THROUGH J.4 SHALL BE CONSIDERED AS EXCEPTIONS FROM THE ORDINANCE STANDARDS. (§429.J.5)

10. BUFFER REQUIREMENTS

A. FOR A RESIDENTIAL TYPE A (SINGLE-FAMILY DETACHED) USE THAT ABUTS ANOTHER RESIDENTIAL TYPE A USE, THERE ARE NO MINIMUM REQUIRED BUFFERS. (§525.H – TABLE 5.10)

B. FOR A RESIDENTIAL TYPE A (SINGLE-FAMILY DETACHED) USE THAT ABUTS A RESIDENTIAL TYPE B (ALL OTHER DWELLING TYPES) USE, THE MINIMUM REQUIRED BUFFER SHALL BE 25 FEET. (§525.H – TABLE 5.10)

11. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.

12. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.

13. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.

14. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.

15. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.

16. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.

17. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

18. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

19. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

20. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

21. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

22. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAM OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADEQUATE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

23. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY OR CONSTRUCTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY REVISIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

24. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.

25. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.

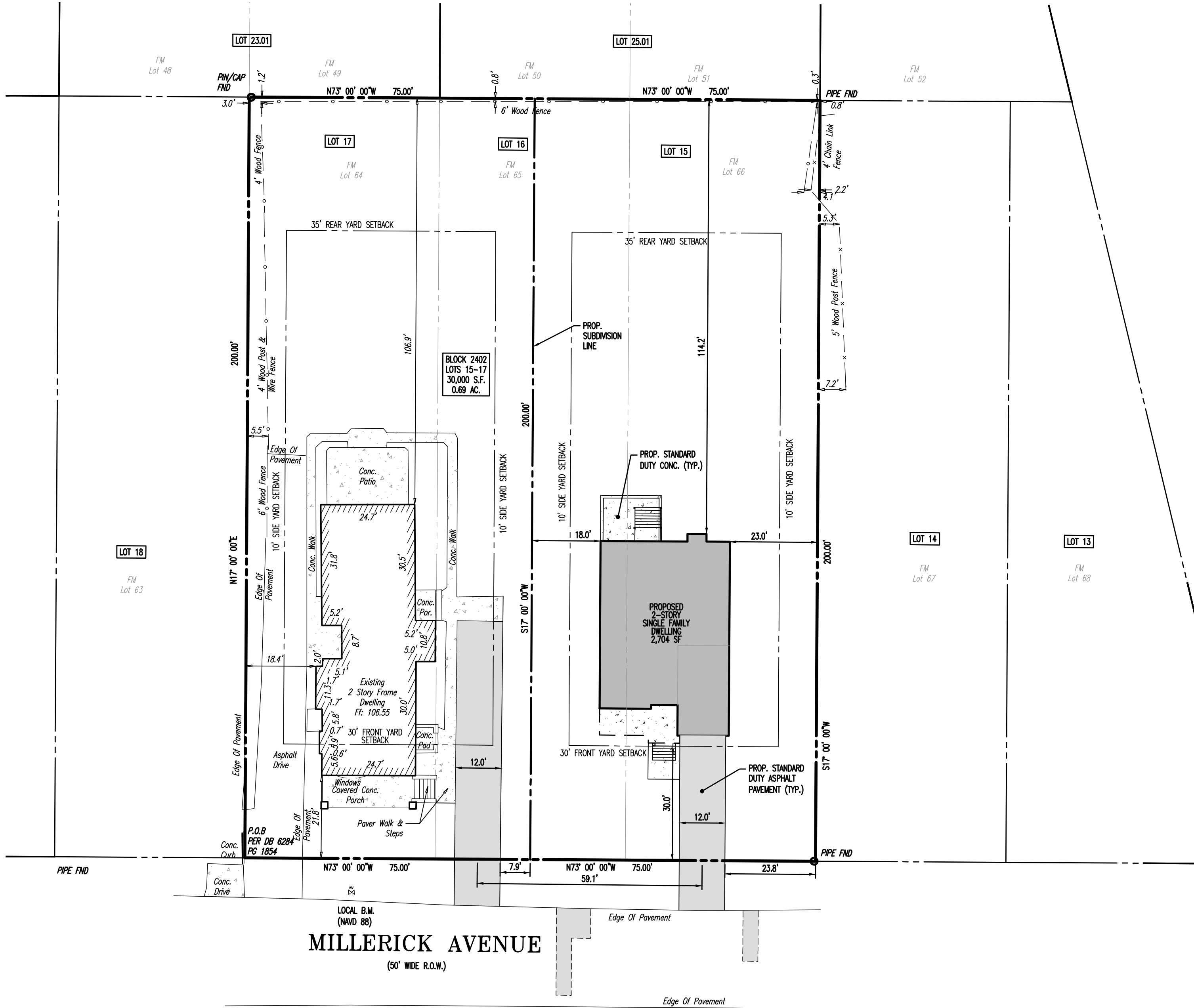
26. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THEREON AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

27. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.

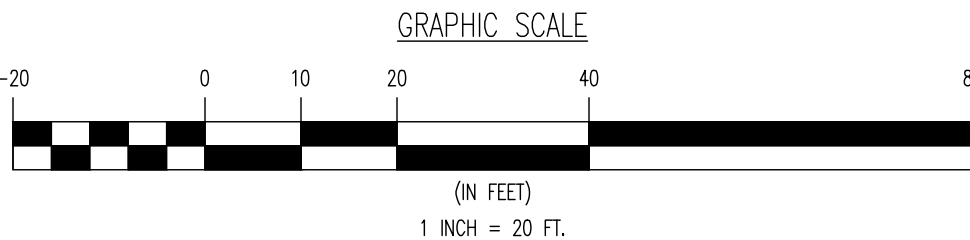
28. THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.

29. CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASES SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.

30. CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH N.J.A.C. 17:23-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.



MILLERICK AVENUE
(50' WIDE R.O.W.)



PAVEMENT LEGEND

	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD DUTY CONCRETE
	PROPOSED PAVERS

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TITLE: PLOT PLAN

PROJECT: JAY VENTURES LLC
PROPOSED SINGLE-FAMILY DWELLING
BLOCK 2402, LOTS 15, 16, & 17
154 MILLERICK AVENUE
TOWNSHIP OF LAWRENCE, MERCER COUNTY, NEW JERSEY

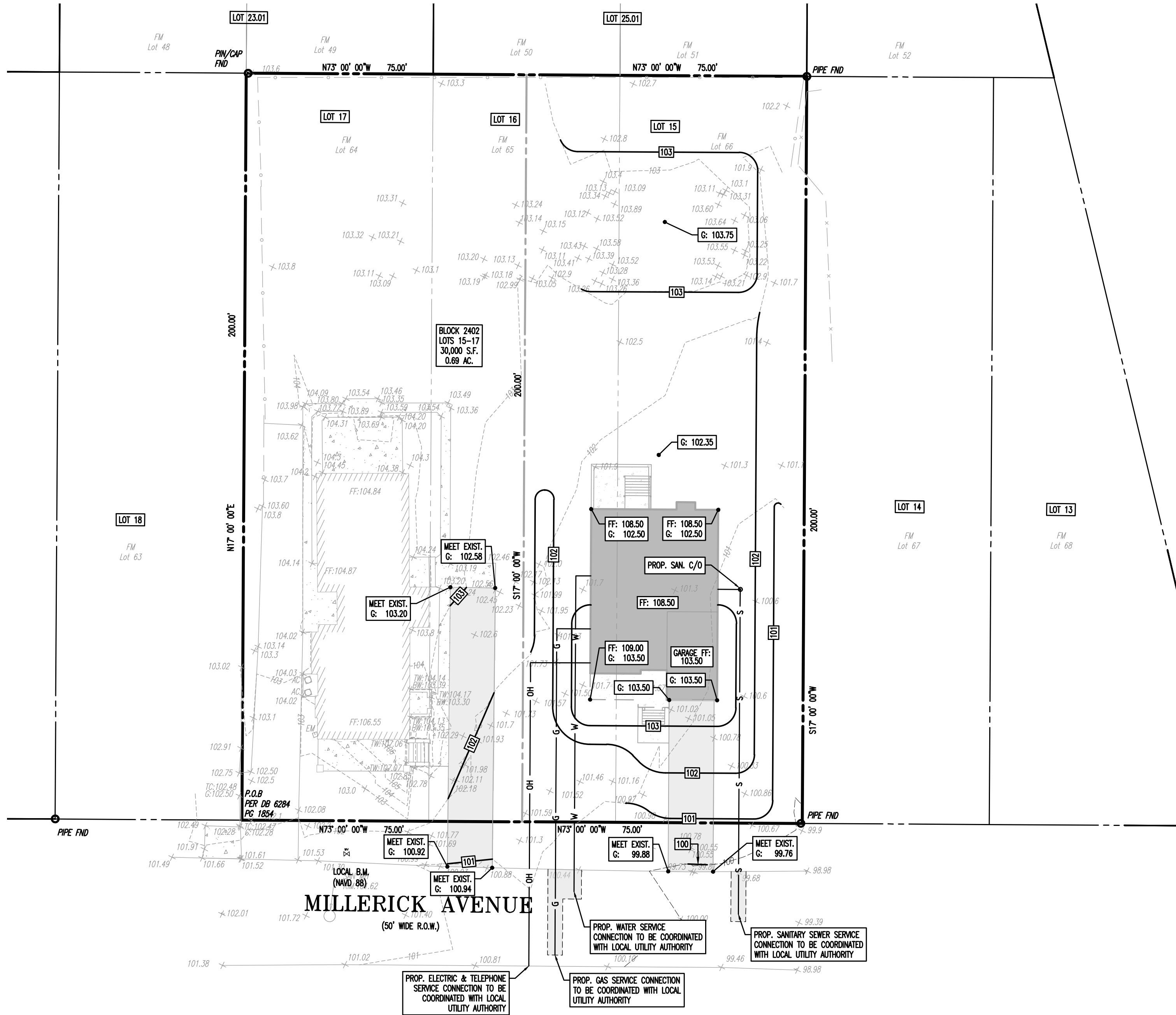
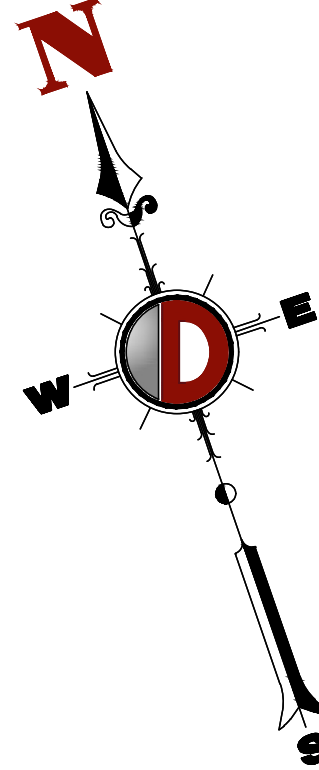
JOB No: 5945-26-01149
DATE: 06/11/2026
DRAWN BY: DBS
DESIGNED BY: BC
CHECKED BY: DAT
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SCALE: (H) 1"=20' (V)
SHEET No: 4 OF 6

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

DANIEL A. TARABOKIJA
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 56963

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UTILITY NOTES

1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP (GRADE) IN GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
7. ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWER CROSSING OVER SEWER LINES.
8. ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
9. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
11. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
12. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
13. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
14. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
15. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SLT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER TIGHT AND CONFORM TO ASTM C-443.
16. HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
17. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2336 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
18. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

DRAINAGE NOTES

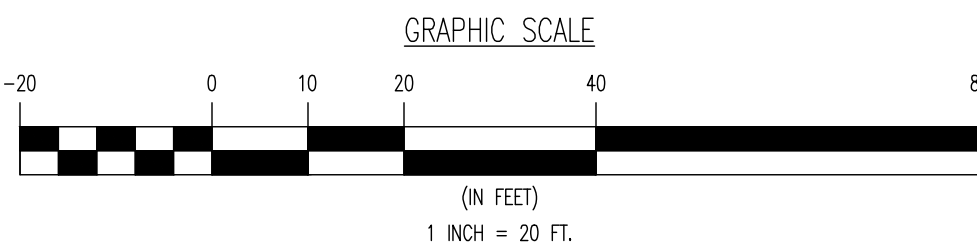
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7. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL AND OVERSIZED DRAINAGE STRUCTURES TO THE PROJECT ENGINEER AND ALL LOCAL JURISDICTION IF APPLICABLE, FOR APPROVAL PRIOR TO INSTALLATION.

GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE, WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE FENCED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS/CURBS AND 1.0% ON ALL CONCRETE SURFACES AND 1.5% MIN. ON ASPHALT UNLESS OTHERWISE NOTED. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.35% LONGITUDINAL GUTTER GRADE ALONG CURB FACE RECEIVING SURFACE RUNOFF. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
4. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 1:48 (2.08%) ON ALL SIDEWALKS.
8. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
9. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

ADA NOTES

1. ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO CONSTRUCT IMPROVEMENTS IN COMPLIANCE WITH THE LATEST ADA GUIDELINES AND BUILDING CODE REQUIREMENTS. AT THE TIME OF PLAN DESIGN, THESE REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO:
 - A. SIDEWALKS/ ACCESSIBLE ROUTES:
 - WIDTH: 36" MIN. EXCLUSIVE OF THE WIDTH OF ANY CURB
 - PASSING SPACE: MIN. 60" x 60" AT INTERVALS OF 200' MAX IF ACCESSIBLE ROUTE WIDTH IS LESS THAN 60"
 - RUNNING SLOPE: 1:20 (5%) MAX.
 - CROSS SLOPE: 1:48 (2.08%) MAX. 1.0% MIN.
 - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS.
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
 - B. CURB RAMPS:
 - SLOPE: 1:12 (8.3%) MAX.
 - SIDE FLARE SLOPE: 1:10 (10%) MAX OR 1:12 (8.3%) MAX IN ALTERATIONS WHERE TOP LANDING IS UNAVAILABLE (WHERE FEELS CROSS RAMP)
 - BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP: 1:48 MAX. (2.08%) IN ALL DIRECTIONS
 - TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP: 1:48 MAX. (2.08%) CROSS SLOPE AND 1:20 (5%) RUNNING SLOPE WHEN ONLY CONNECTING ACCESSIBLE ROUTE RUNS PARALLEL TO THE RAMP RUN.
 - COUNTER SLOPE: 1:20 (5%) MAX.
 - C. ACCESSIBLE PARKING STALLS:
 - SPACE AND ACCESS ASLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS ACROSS ACCESSIBLE PARKING STALLS AND STRIPED ACCESS AISLES
 - D. CROSSWALKS:
 - RUNNING SLOPE: 1:20 (5%) MAX.
 - CROSS SLOPE: 1:48 (2.08%) MAX.
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
 - E. RAMPS:
 - SLOPE: 1:12 (8.3%) MAX.
 - MAX. RISE: 30"
 - MIN. CLEAR WIDTH: 36"
 - MIN. LANDING CLEAR LENGTH: 60"
 - MAX. CROSS SLOPE: 1:48 (2.08%)
 - F. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION AND/OR GRADING IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.



GRADING/UTILITY GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES		EXIST. CABLE LINE		EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. SPOT ELEVATIONS
	EXIST. LIGHT POLE		EXIST. ELECTRIC LINE		EXIST. SANITARY SEWER LINE		EXIST. GUTTER ELEV.		EXIST. TOP OF CURB ELEV.
	EXIST. BUILDING LIGHT		EXIST. FIBER OPTIC LINE		EXIST. FORCE MAIN		EXIST. TOP OF CURB & FINISHED GRADE ELEV.		EXIST. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. SHOE BOX LIGHT		EXIST. GAS LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. COBRA LIGHT POLE		EXIST. OVERHEAD WIRES		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. TRAFFIC SIGNAL POLE		EXIST. TELEPHONE LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. MANHOLE		EXIST. WATER SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. "A" INLET		EXIST. FIRE SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. "B" INLET		EXIST. FIRE SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. "C" INLET		EXIST. FIRE SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. YARD INLET		EXIST. FIRE SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. FLARED END SECTION		EXIST. FIRE SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. HEADWALL		EXIST. FIRE SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE
	EXIST. UTILITY POLE		EXIST. FIRE SERVICE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE		EXIST. STORM DRAIN LINE

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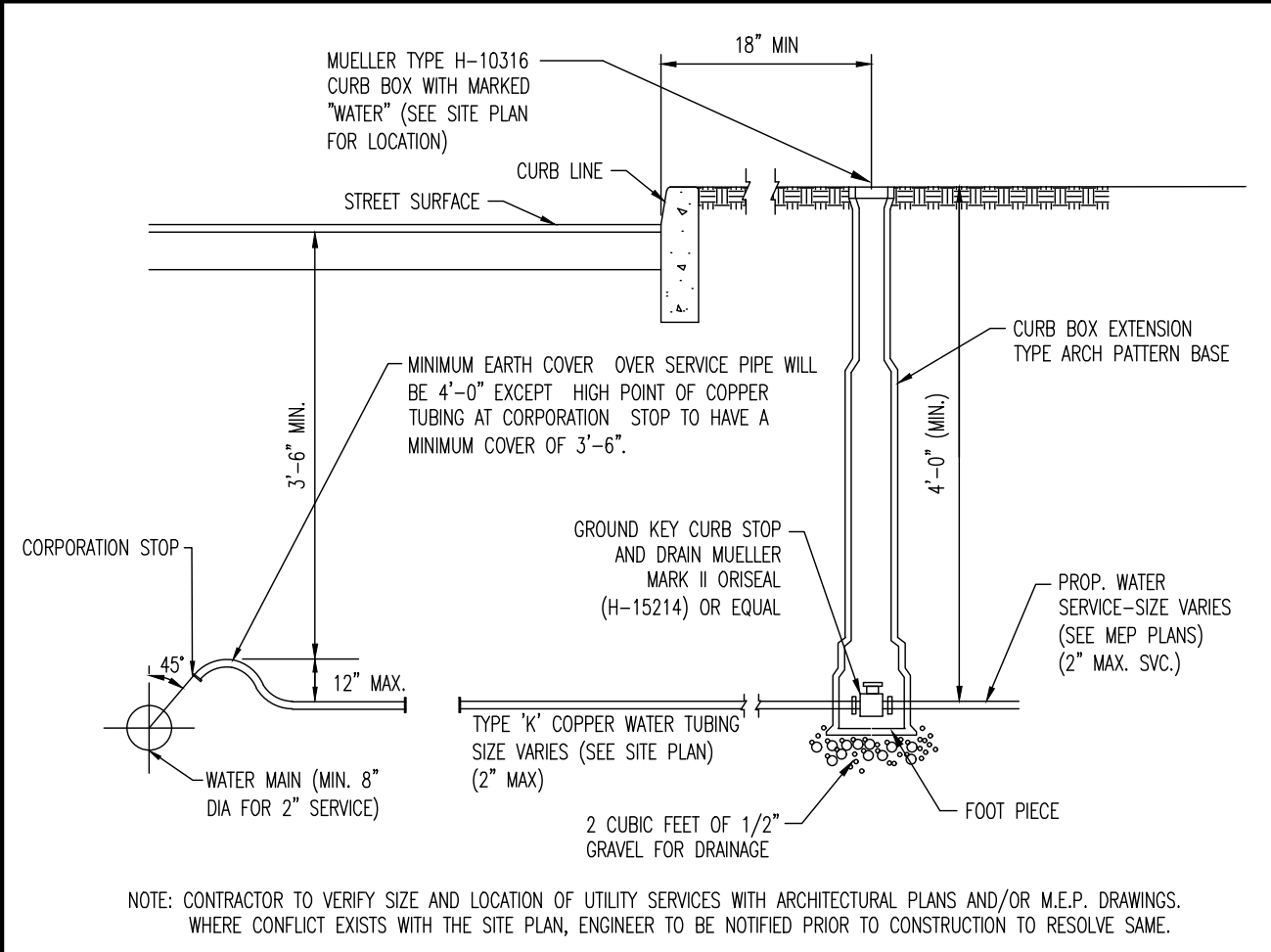
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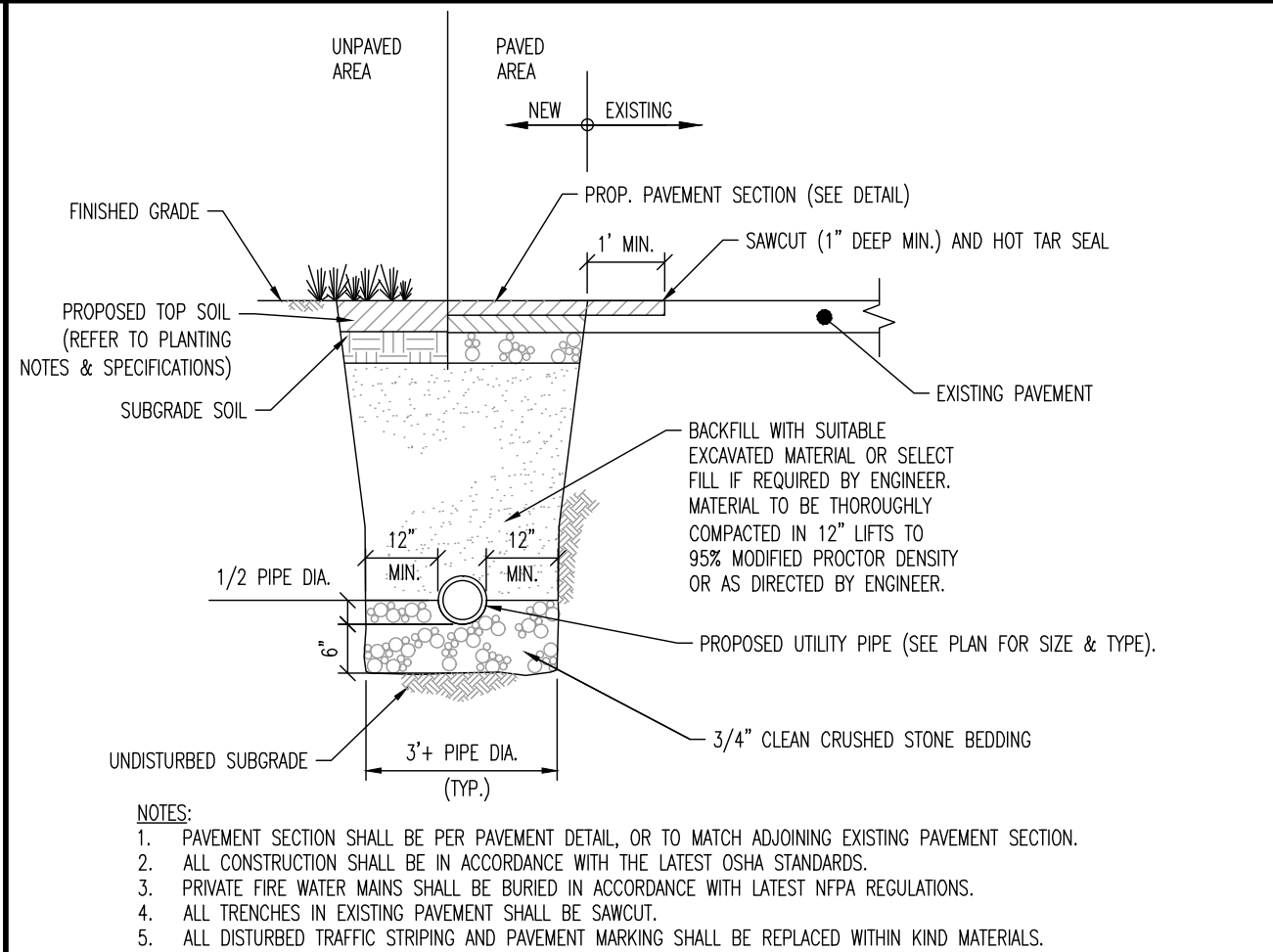
1504 Main Street
Lake Como, NJ 07719
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F: 732.974.3521
www.dynamiceng.com

TITLE: GRADING, DRAINAGE, & UTILITY PLAN	
PROJECT: JAY VENTURES LLC PROPOSED SINGLE-FAMILY DWELLING BLOCK 2402, LOTS 15, 16, & 17 154 MILLERICK AVENUE TOWNSHIP OF LAWRENCE, MERCER COUNTY, NEW JERSEY	JOB No: 5945-26-01149 DRAWN BY: DBS DESIGNED BY: BC CHECKED BY: DAT CHECKED BY: -
DATE: 06/11/2026 SCALE: (H) 1"=20' (V) 1"=20' SHEET No: 5 OF 6 Rev. # 0	PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 52908 PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 56963
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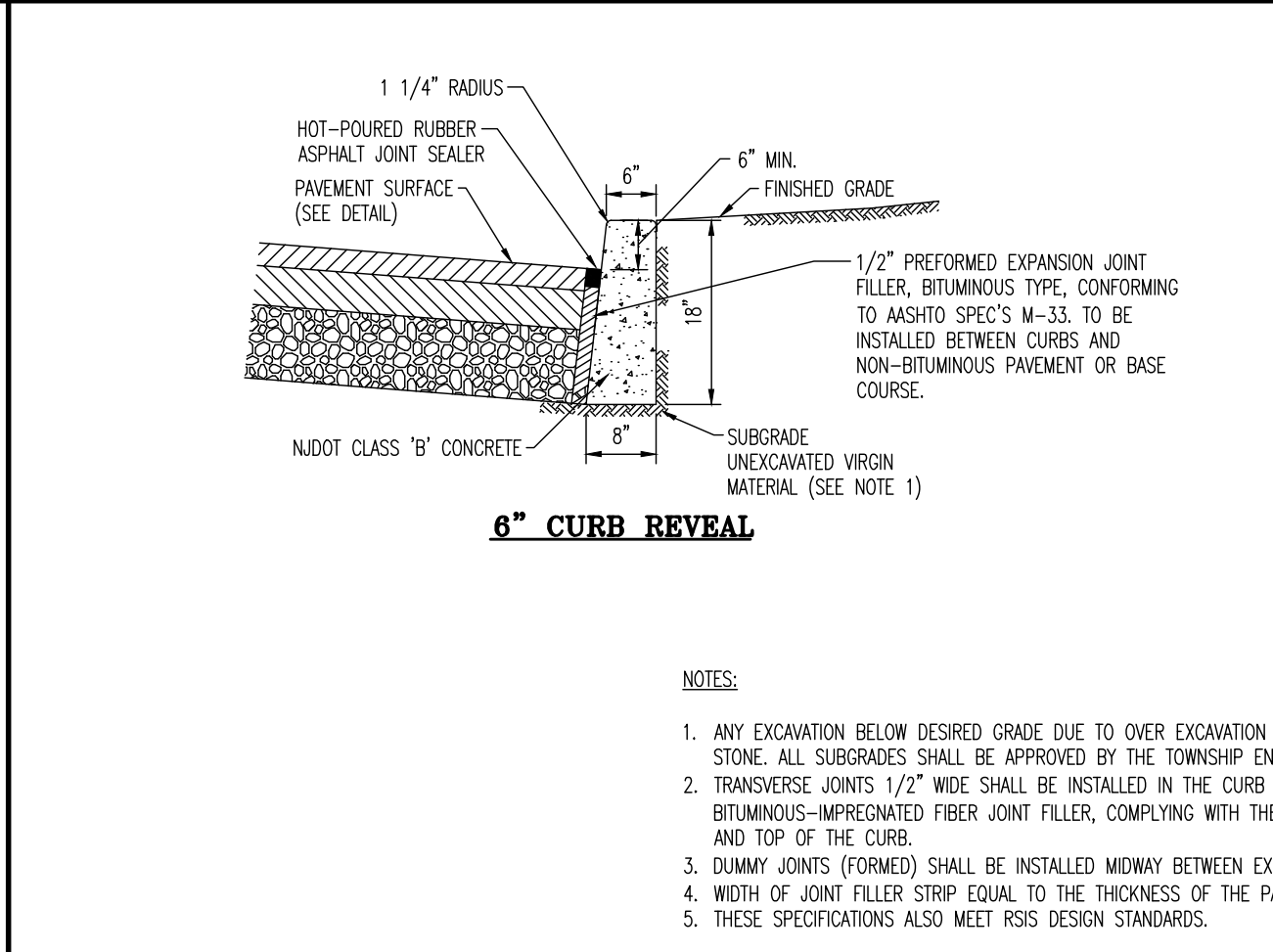
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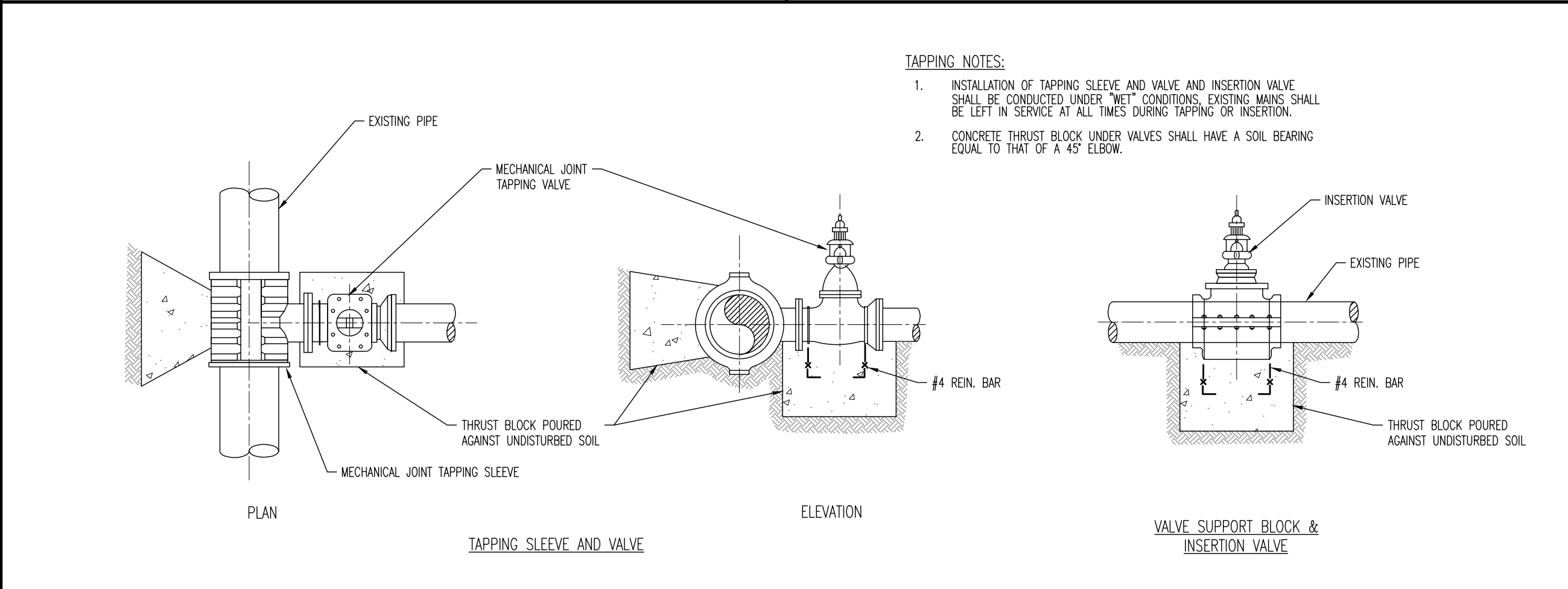
WATER SERVICE CONNECTION
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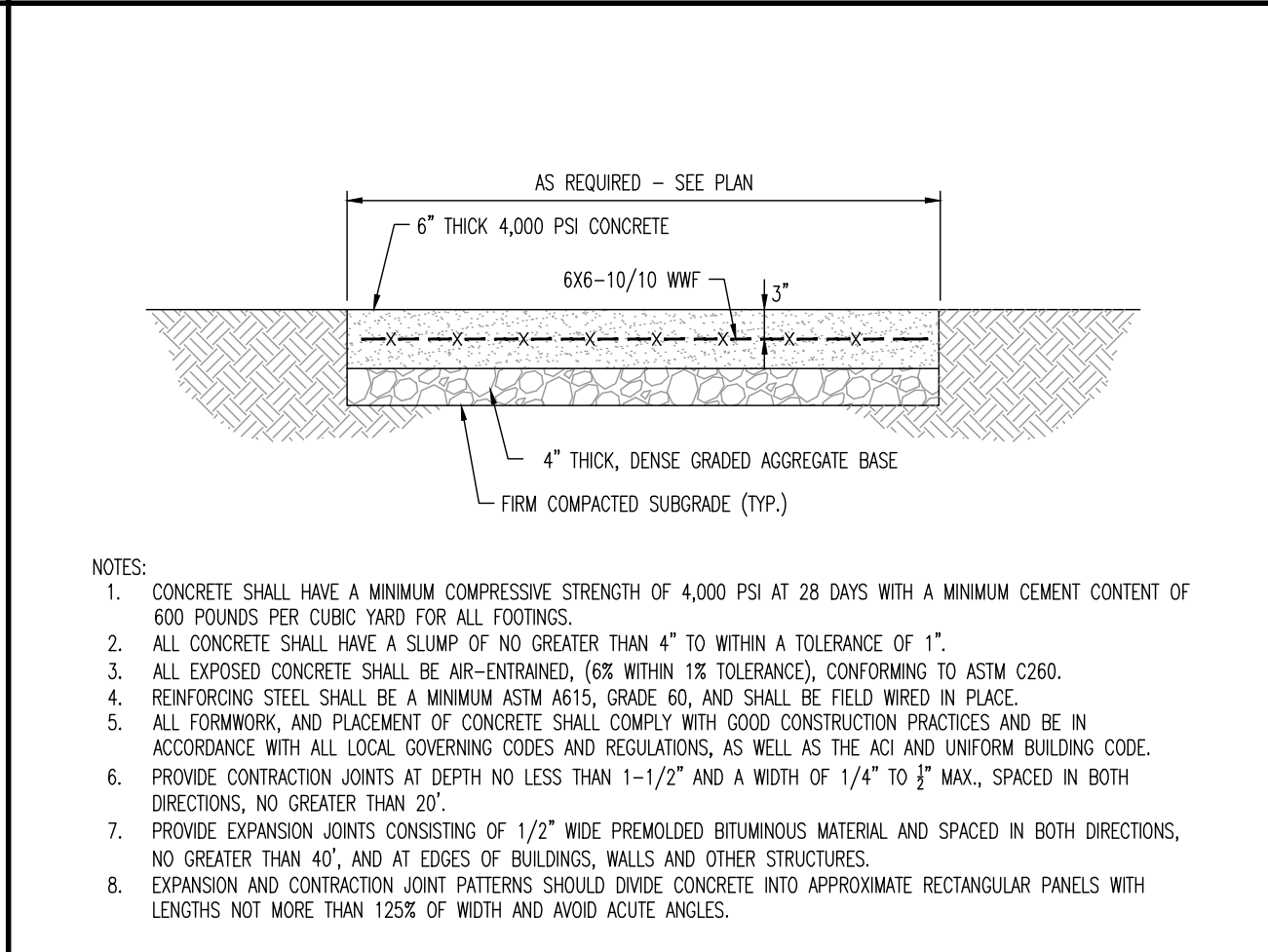
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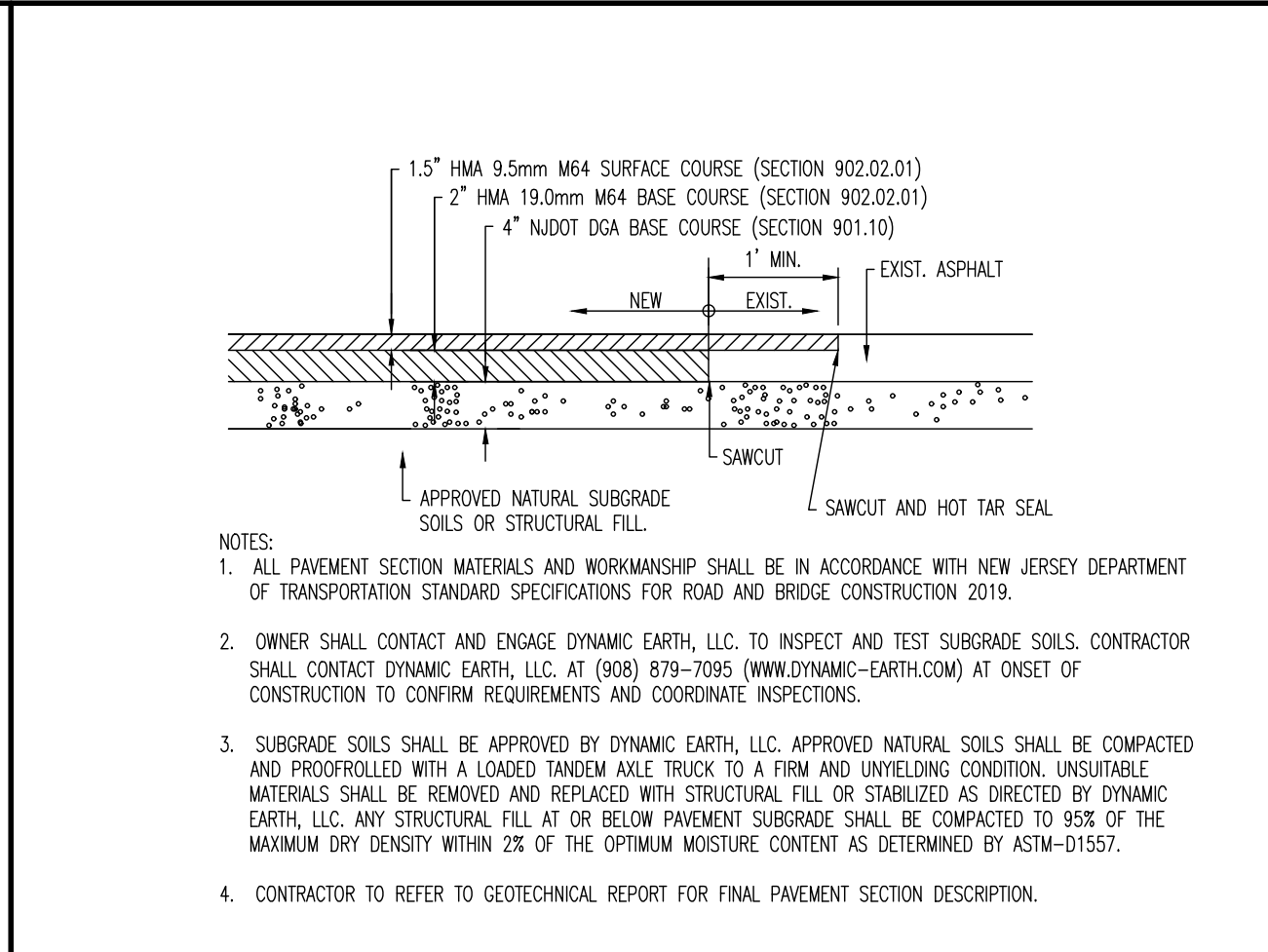
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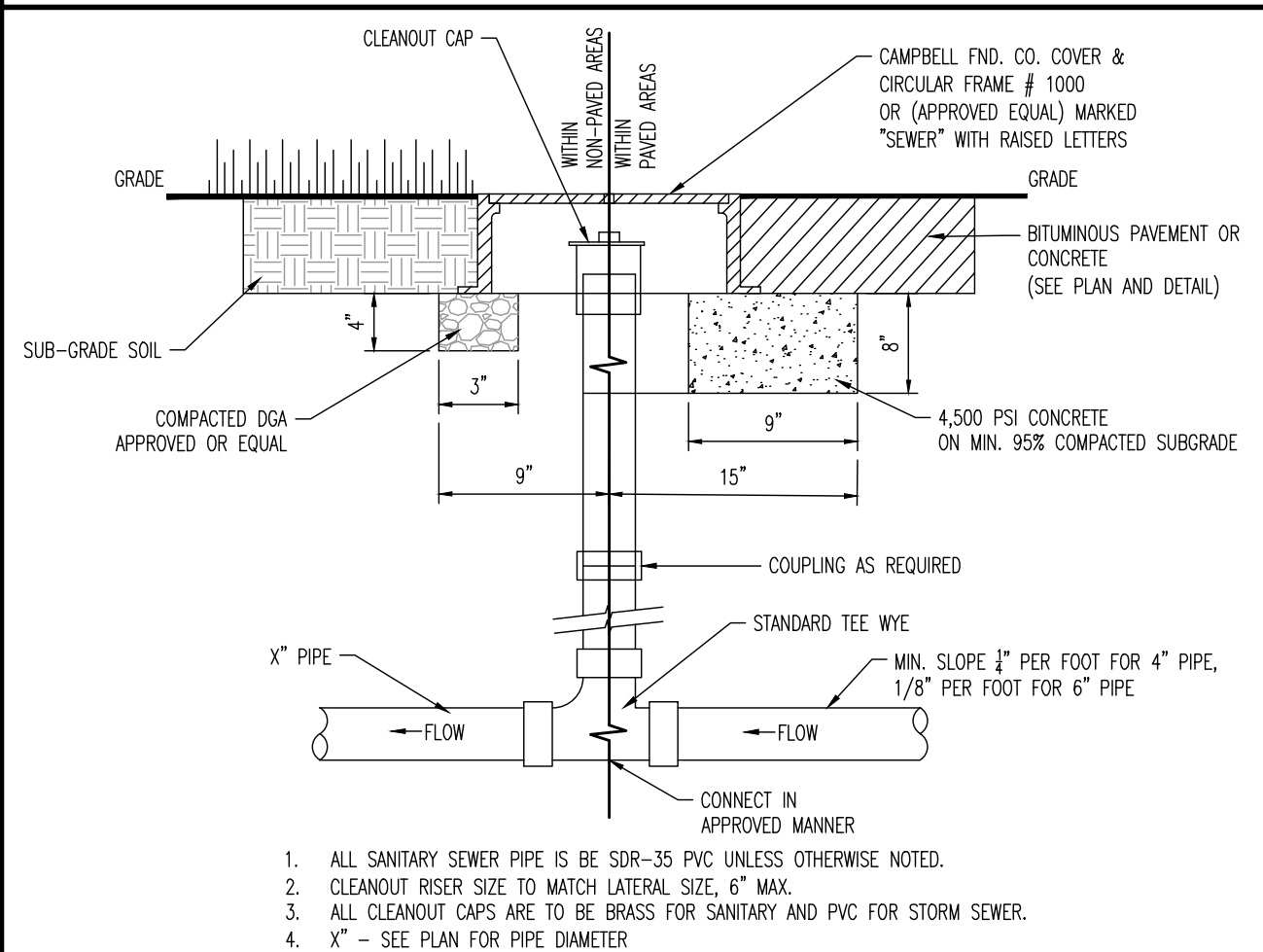
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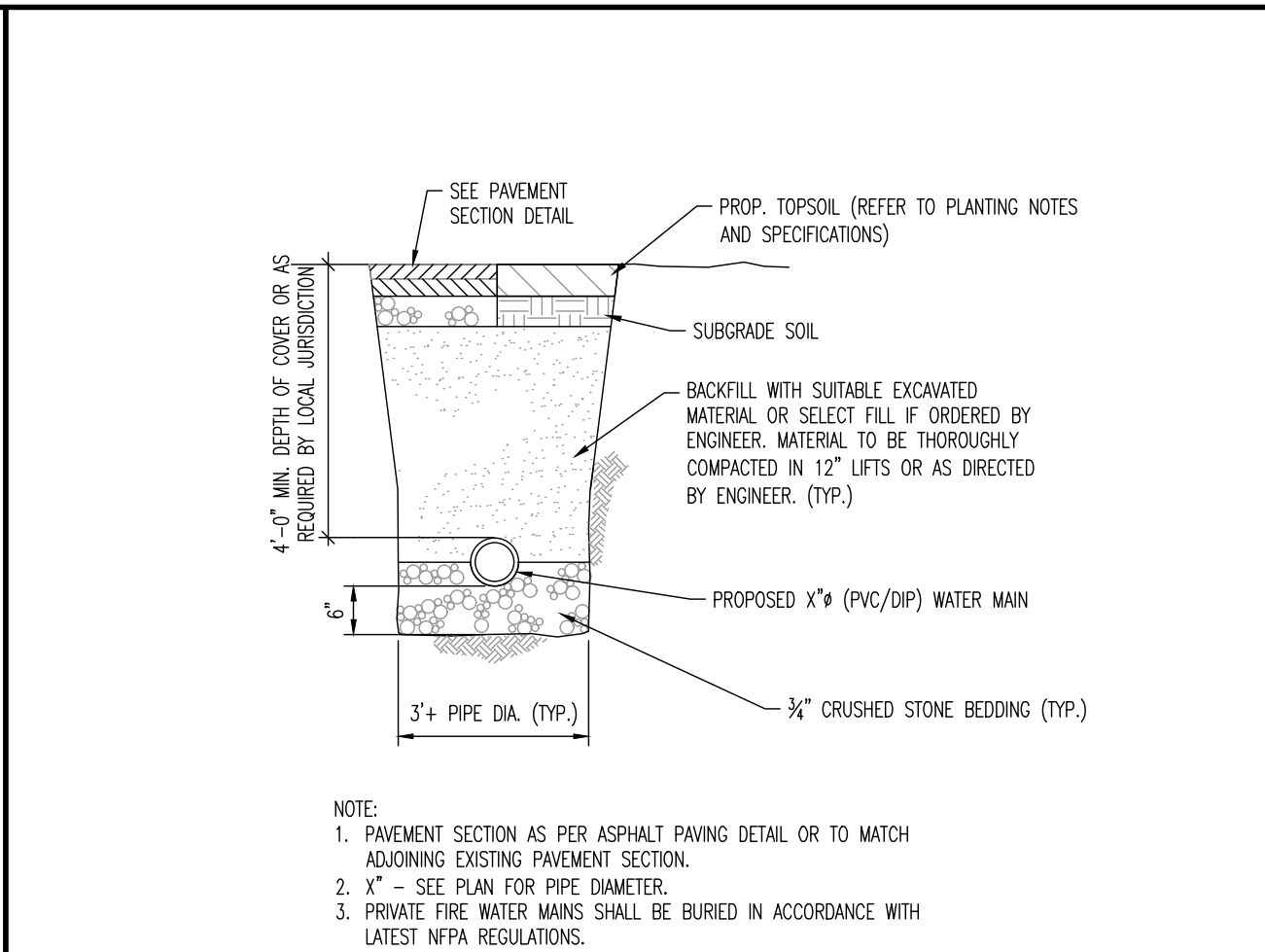
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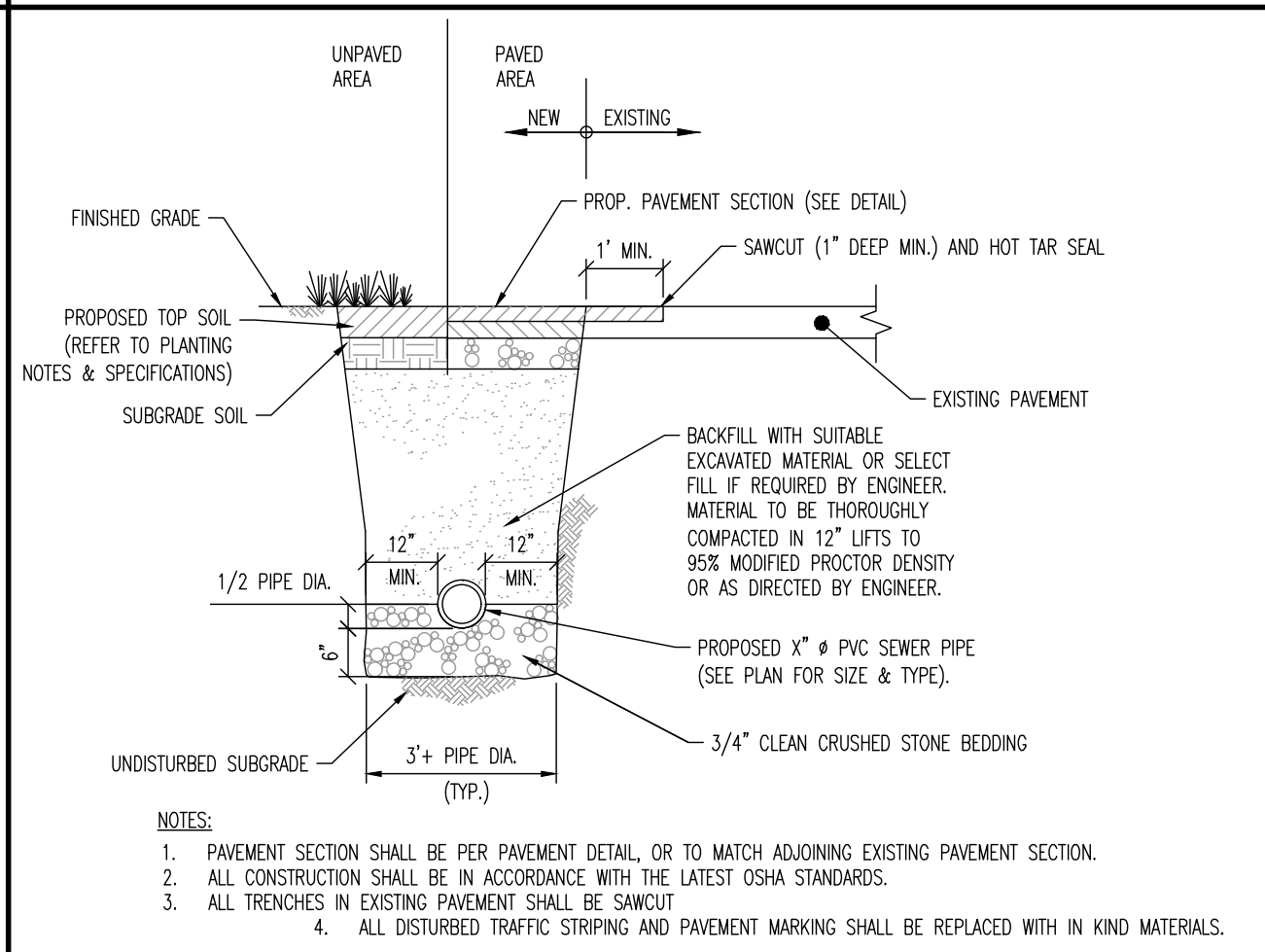
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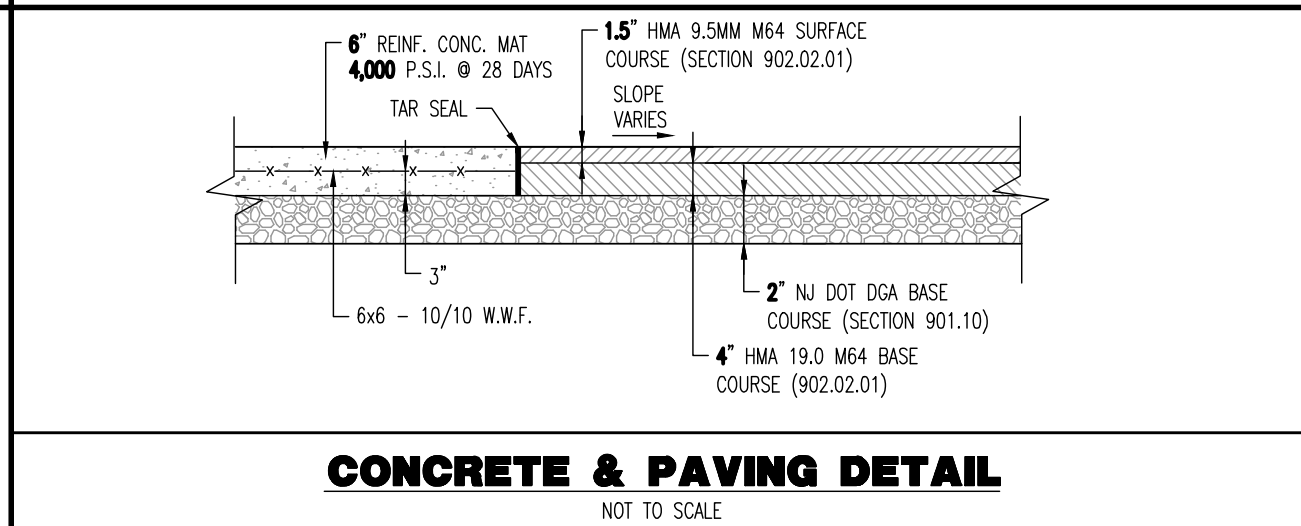
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NOT TO SCALE



WATER MAIN TRENCH DETAIL
NOT TO SCALE



SANITARY SEWER TRENCH DETAIL
NOT TO SCALE



CONCRETE & PAVING DETAIL
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TITLE: **CONSTRUCTION DETAILS**

PROJECT: **JAY VENTURES LLC**
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BLOCK 2402, LOTS 15, 16, & 17
154 MILLERICK AVENUE
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ALL STATES REQUIRE NOTIFICATION OF
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SERVICE UTILITIES IN THE FIELD
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OF 6

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