

LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY
ADDENDUM NO. 2 (ANSWERS TO QUESTIONS PRESENTED)
REQUEST FOR PROPOSAL (RFP #LT-2026-01)
LEASE OF LAWRENCE NEIGHBORHOOD CENTER
TO A NON-PROFIT ORGANIZATION

1. Beyond the \$500,000 federal ADA compliance grant for the front entrance, what capital investment is the Township prepared to commit to the building to ensure it is safe, code-compliant, and suitable for community programming – particularly for youth and senior populations?

Answer: The Township has been notified that the State of New Jersey has awarded it a \$2,000,000 grant for improvements to the building, bringing the total funding secured for the project to \$2,500,000. These funds will be used to complete critical renovations and capital improvements necessary to address deferred maintenance and to bring the building into compliance with applicable building and occupancy codes. Any additional improvements, certifications, or regulatory approvals required for a specific programmatic use of the facility will be the responsibility of the successful respondent.

2. Is the Township prepared to commit to completing all required certifications for building use by children – comparable to the certifications required prior to closure of this facility?

Answer: See prior answer. No, this RFP is for leasing the building to a non-profit organization. Any specific certifications related to childcare operations will be the responsibility of the successful bidder.

3. We understand the original community center redevelopment plan included a \$1,000,000 allocation for reconstruction of this facility. Is the Township prepared to honor or revisit that commitment in connection with the lease agreement, and if so, what is the timeline and process for accessing those funds?

Answer: The Township has secured a total of \$2,500,000 in grant funding for improvements to the building. In addition, \$1,000,000 has been reserved in the Township's Capital Fund for improvements to the Lawrence Neighborhood Center. Given the substantial grant funding now awarded, it remains to be seen whether any portion of the previously appropriated capital funds will be needed for their original intended purpose. A portion of or all of these taxpayer-funded capital dollars may be redirected to address other longstanding capital improvement needs throughout the Township, subject to the appropriate approvals.¹

4. Has the Township obtained independent cost estimates for the full reconstruction or significant renovation of the facility prior to issuing this RFP?

Answer: Yes, see attached.

¹ Both the \$500,000 and \$2,000,000 grants were awarded after the \$1,000,000 allocation to the Capital budget.

5. We understand that the Township previously provided approximately \$100,000 per year to Homefront, Inc., in operational support. Is the Township prepared to continue to provide operational support to the selected lessee comparable to the approximately \$100,000 per year provided to Homefront?

Answer: No. This RFP is for the lease of the building to a non-profit, as detailed therein.

6. Has the Township allocated or planned to dedicate funds to capital improvements or repairs at the Center? If so, what amount is contemplated, and what is the process by which the selected lessee could access those funds?

Answer: See prior answers. All grant funding allocated for improvements to the Township-owned building will be administered exclusively by the Township and under the direction of its authorized municipal officials. Accordingly, respondents should not anticipate direct access to or control over grant funds designated for capital improvements to the facility. The Township will determine the scope, timing, and implementation of all improvements funded through these grants.

7. What are the current estimated annual utility costs for 295 Eggerts Crossing Road, including electricity, gas, and water/sewer?

Answer: The building has not been in active operation for more than two years. As a result, historical utility costs may not be representative of future operations. Existing utility records maintained by the Township may be requested in accordance with the New Jersey Open Public Records Act (OPRA).

8. Which spaces shown in the Appendix A floor plans – including the kitchen, multi-purpose hall, classrooms, meeting rooms, and basement teen/game room – are currently operational, and which require renovation or code remediation before use?

Answer: See the attached report. The Township makes no representation or warranty regarding any code compliance, licensing, or regulatory requirements that may be applicable to the successful respondent's intended use or occupancy of the facility. Respondents are solely responsible for conducting their own due diligence and determining the nature and extent of any additional improvements, approvals, or code-related modifications that may be required for their proposed use.

To assist respondents in that process, the building will be available for a general walk-through on July 20, 2026. Upon request, additional site visits may be arranged prior to the proposal submission deadline to allow respondents, their licensed contractors, architects, engineers, or other consultants to further evaluate the facility.

9. Can any portion of the building be occupied at this time? If so, which portion?

Answer: See the prior answer.

10. Are there any environmental or structural defects impacting the Center?

Answer: See the prior answers. None are known at this time. The Township is not aware of any material changes to the condition of the building since it was last occupied by HomeFront, Inc.

11. What is the current condition of the building's mechanical, electrical, plumbing, and HVAC systems?

Answer: See prior answers and attachment.

12. Is a building condition assessment or deferred maintenance report available for the facility? If not, will one be made available to prospective respondents prior to the proposal deadline?

Answer: See prior answers and attachment. The Township does not intend to have the building evaluated while the RFP is pending.

13. Has the Township retained engineers, architects, or contractors to assess or address improvement needs? If so, when and where can relevant plans, reports, or cost estimates be reviewed by prospective respondents?

Answer: See prior answers and attachment.

14. Who will be responsible for major capital repairs – roof, HVAC, structural-during the lease term: The Township or the lessee?

Answer: The Township will retain ownership of the building and surrounding grounds. Accordingly, the lease is expected to include customary provisions assigning responsibility for owner-related repairs and maintenance to the Township. The successful respondent will be responsible for repairs or damage resulting from its negligent, intentional, or reckless acts or omissions, as more fully set forth in the lease.

15. Will the Township be responsible for utilities during the lease term, as was the case under the Homefront agreement, or will the lessee be responsible for all utility costs? If the latter, can the Township provide at least two years of historical utility cost data for the building?

Answer: Under the lease agreement, the tenant will be responsible for all utilities. See the prior response relating to access to historical data. However, the Township will clear snow and ice from the parking areas, and the tenant shall be responsible for clearing the front, rear, and side walkways.

16. Can the Township provide or draft a description or outline of the expected lease obligations in these areas prior to the proposal deadline, so that respondents may develop an accurate financial proposal?

Answer: See prior answers. The lease document will be provided to and negotiated with the successful bidder.

17. Does the Township intend to provide programs or services at the Center during the lease term? If so, what programs or services are contemplated, and on what schedule?

Answer: Though the Township would like access to the building for occasional programs or events, such access will be subject to the successful bidder's approval. There are no specific programs developed at this time.

18. Does the Township wish to maintain offices at the Center?

Answer: No.

19. Is there a minimum rent the Township will require, or will proposals at any rent level be considered provided the community benefit is sufficiently demonstrated, consistent with Section 5.2?

Answer: There is no minimum rent requirement.

20. Section 5.5 of the RFP requires sexual abuse/molestation coverage "if youth programming is anticipated." Given that youth development is central to the Township's stated programming goals for this facility, will this coverage be required of all respondents regardless of how youth programming is characterized in the proposal?

Answer: The RFP sufficiently guides respondents as to insurance requirements and the criteria to be used in determining the successful bidder. See previously issued Addendum #1.

21. The RFP states that the Township encourages the selected respondent to allow other non-profits access to the facility, but also requires the Township to sublease all facilities. What is the Township's anticipated turnaround time for sublease approvals, and is there a streamlined process contemplated for recurring community use arrangements?

Answer: The RFP clearly defines expectations for other nonprofit groups' use of the building. The Township will not unreasonably delay the review of subleases submitted in compliance with the terms set forth in the RFP.

22. May two non-profit organizations submit a joint proposal, with one designated as the primary leaseholder and the other as a named programming partner? If so, how should the proposal be structured, and which organization's financials should serve as the primary submission?

Answer: The RFP sufficiently details the requirements for the submission of proposals. Each submission will be evaluated under the criteria detailed in the RFP. The RFP requires proposals by a non-profit organization, not a combination of organizations.

23. Has the Township established a target date to reopen the Center?

Answer: The Township will work with the successful bidder to reopen the building as soon as possible, in compliance with all applicable local, state, and federal laws that apply to governing building ownership.

24. If the Township selects a respondent, what is the anticipated timeline from selection to executed lease, and will there be a period during which the selected organization can begin limited programming while the final lease terms are negotiated?

Answer: The Township will work with the successful bidder to negotiate a lease without delay. Access and use of the building will be authorized once the lease is executed by both parties.

25. The RFP indicates the Township may exercise up to two additional years of lease renewal at its discretion. What criteria will the Township use to evaluate renewal, and will the selected organization have any opportunity to advocate for renewal based on its performance record?

Answer: The Township will rely on good faith and fair dealing to determine whether lease extension is appropriate. Additionally, the organization will, of course, have an opportunity to advocate for an extension.

26. Will the Township conduct interviews with the shortlisted respondents before making a final decision, and if so, what is the anticipated timeline for interviews relative to the August 25, 2026 proposal deadline?

Answer: It remains to be determined whether interviews will be conducted. If required, they will happen after the deadline and during the evaluation period.

27. The RFP references a Proposal Evaluation Scoring Matrix (Appendix C) but does not indicate how many evaluators will score proposals or whether scores will be averaged or reconciled through a formal process. Can the Township clarify the composition of the evaluation panel and the scoring methodology?

Answer: No.

28. Will respondents be notified of their individual scores and given any opportunity to respond to evaluator questions or provide clarifications before a final award is made?

Answer: No, respondents will not be notified of their individual scores prior to the Township's RFP decision. The evaluation process may include follow-up questions or clarifications of any submission under evaluation.

29. What role, if any, is the Township Recreation Department prepared to serve in suggesting and/or cooperating in programs within the facility in cooperation with the successful non-profit lessors?

Answer: No role is contemplated at this time.

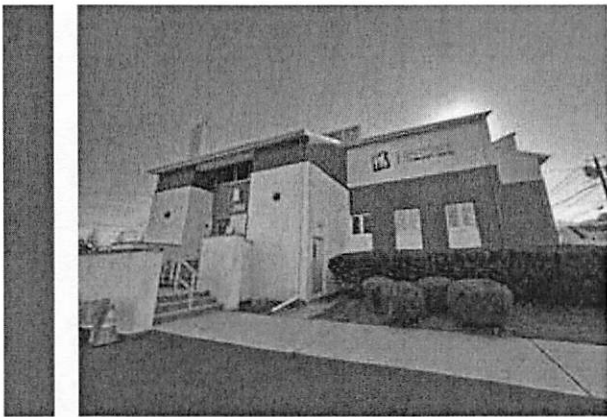
Additional Township comments:

1. Any selection under the RFP shall be conditional only, and no lease shall be effective unless and until approved by the Township Council by Ordinance pursuant to N.J.S.A. 40A:12-14(c), including the statutory findings and reporting requirements applicable to a public-purpose lease to a nonprofit entity.
2. Youth/child programming approvals, including Certificate of Occupancy and any child care licensing, are the responsibility of the successful bidder/occupant of the building.
3. Supplemental questions may be submitted to the Township until 4:30 PM on August 10, 2026.

LAWRENCE COMMUNITY CENTER CONDITIONS ASSESSMENT

295 EGGERT'S CROSSING ROAD

JANUARY 27, 2025



Clarke Caton Hintz

Architecture

Planning

Landscape Architecture



100 Barrack Street

Trenton NJ 08608

Tel: 609 883 8383

Fax: 609 883 4044



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I. Assessment of Existing Conditions

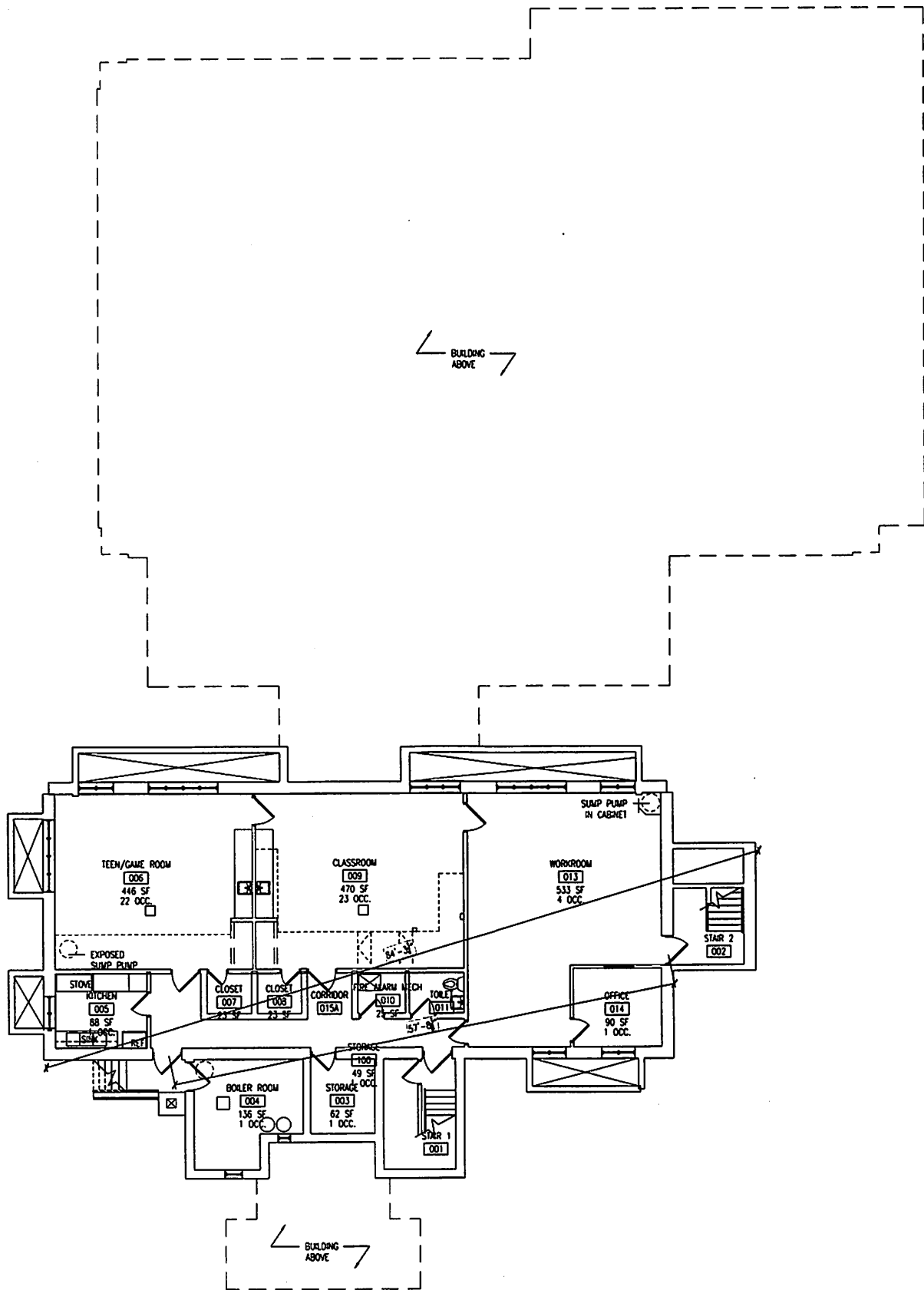
Clarke Caton Hintz Members of Clarke Caton Hintz and our team of consultants visited the Lawrence Community Center to understand the physical condition of the building, review existing conditions for potential code compliance issues, and to understand from the Township's perspective what upgrades and reconfiguration of spaces, if any, would need to be done.

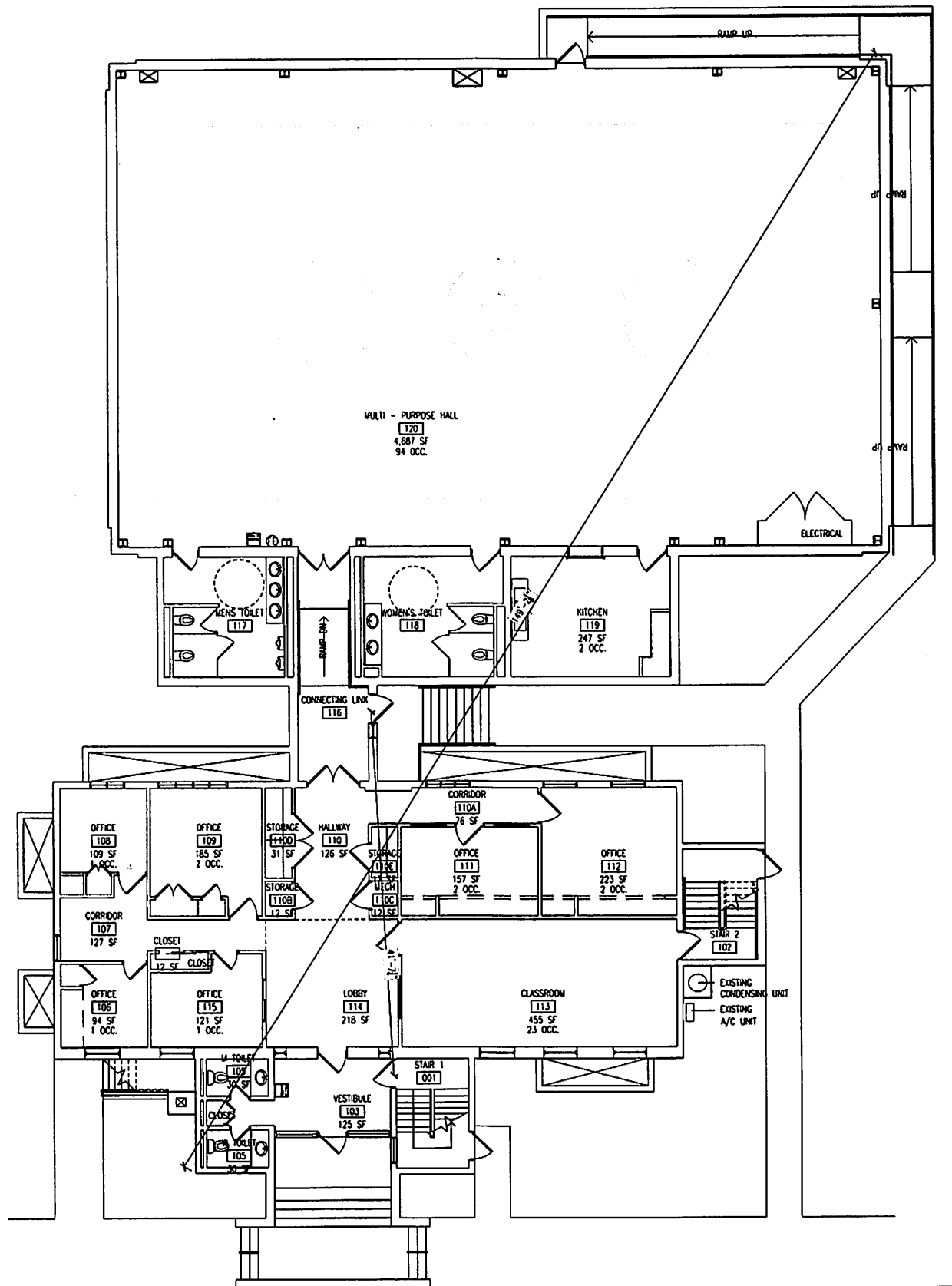
From our site visit and survey, as well as from review of existing plans, we identified the main code compliance issues as follows:

- Stair 1 has no handrails and guardrails are not code-compliant
- Stair 2 does not have code-compliant handrails or guardrails
- Plumbing fixtures and accessories do not meet current code requirements for fixture height
- Stair 1 and Stair 2 are separated by a distance of less than one-half of the maximum overall diagonal dimension of the building and the building is non-sprinklered
- The sole means of accessible entry is at the back of the gymnasium, which is accessed by a ramp at the side of the building.

Based on our findings, we developed a priorities list and developed two design concepts which would address the code and accessibility issues and sent these to Lawrence Township for review and comment.

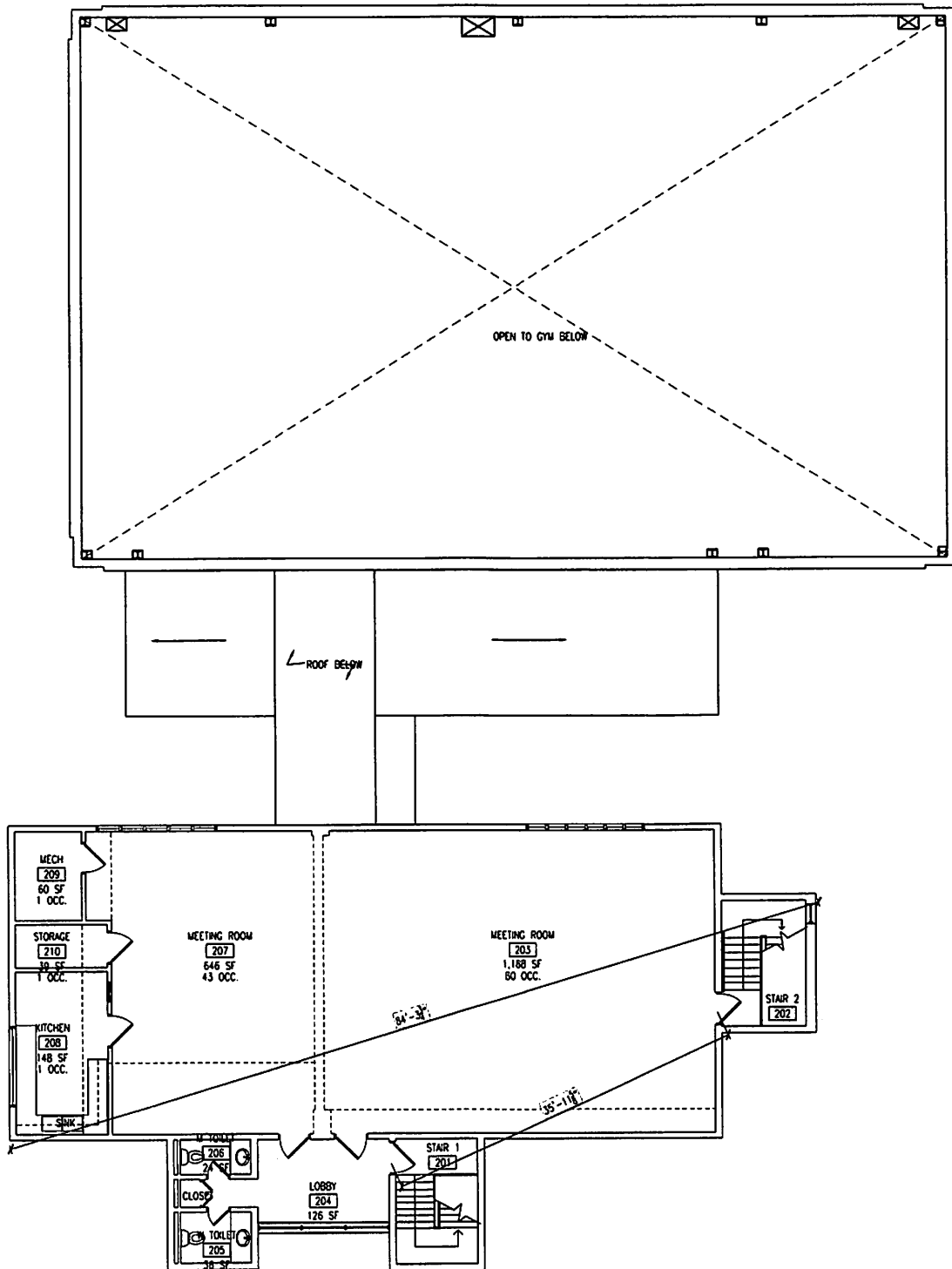
Following a meeting with Lawrence Township on January 10, 2025, the plans were revised to include a reception desk, secure vestibule, and reconfiguration of the main entrance to include a ramp and stairs.





1/16" = 1'-0"

Existing First Floor Plan



1/16" = 1'-0"

Existing Second Floor Plan



Observations

Existing conditions for 295 Eggert's Crossing Road were assessed during site visits on October 25 and November 7, 2024. These assessments are based on visual, non-destructive observations. This recommendations section will provide guidance for future work. It incorporates the recommendations of the building analysis, code review and engineering systems analysis sections.

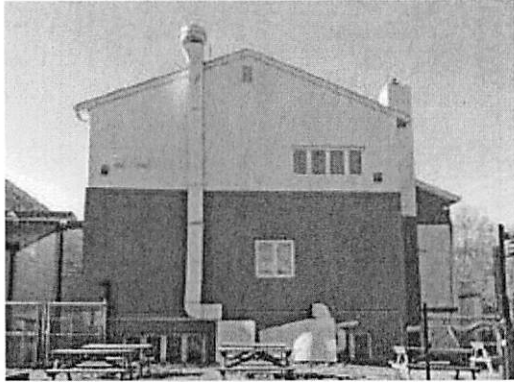
In general, we recommend several levels of repair: Immediate, Short Term and Long Term:

- **Immediate** are those repairs and recommendations that must be completed to remedy safety concerns or to protect the building. We recommend that these repairs be undertaken immediately and be completed within 1-2 years.
- **Short Term** are those recommendations and repairs which can most efficiently be undertaken in conjunction with the overall rehabilitation of the building and/or repairs. They are based on the program requirements for new use and if delayed, will not pose a threat to the building, its fabric or its users. We recommend that work in this category be completed within 2-4 years.
- **Long Term** are those repairs and recommendations which relate to the interpretation of the building and the site. Deferment of these recommendations will not create hazardous conditions for the building or its users.

An environmental hazard review was not performed as part of this project. Any required remediation should be completed prior to the start of any renovations or new construction.



Exterior



East side of main building

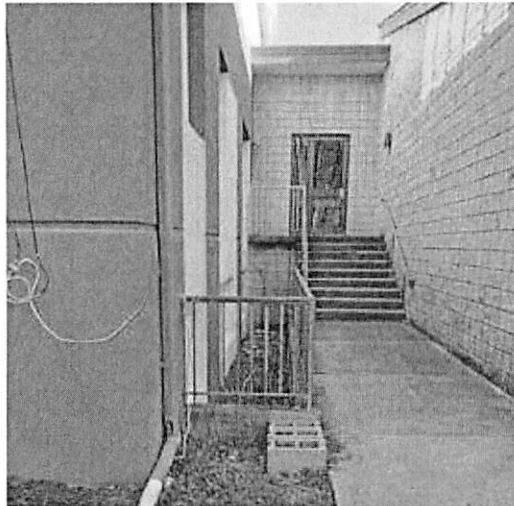
Observation:

Exterior of main building is in overall good condition. Exhaust ductwork from basement kitchen to roof is rusted in spots. Limited exterior lighting.

Priority: Immediate

Recommendation:

Install exterior lighting.



Egress at corridor between main building and gym

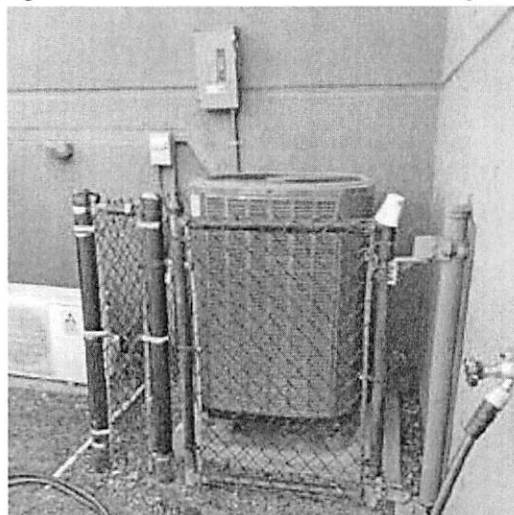
Observation:

Existing egress stairs are missing handrail on one side of steps; guardrail is not 42" above floor.

Priority: Immediate

Recommendation:

Install code-compliant handrail and guardrails. Remove debris and leaves from areaway.



Exterior HVAC equipment

Observation:

Exterior condensing units and hose bibb adjacent to Stair #2.

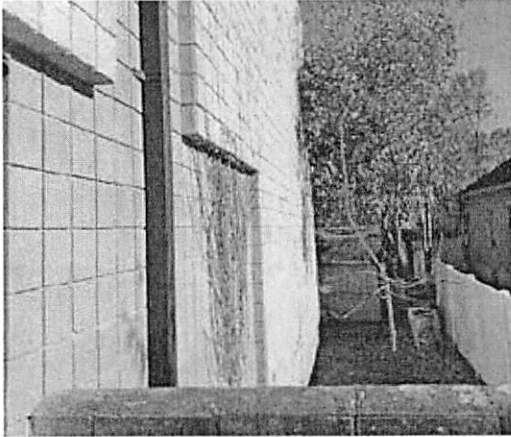
Priority: Long-Term

Recommendation:

Maintain, replace at end of useful lifespan



Exterior



Vines at South side of gymnasium wing

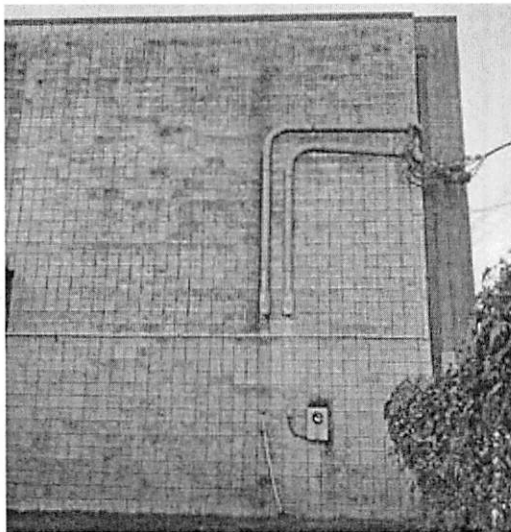
Observation:

Evidence of plant growth at South side of building.

Priority: Short-Term

Recommendation:

Remove plant and remove vines from building.



Exterior wall at gymnasium wing.

Observation:

Masonry at gymnasium wing is soiled due to pollution and plant growth.

Priority: Long-Term

Recommendation:

Clean masonry.



Holes in masonry from handrail support.

Observation:

Holes in masonry from handrail supports.

Priority: Immediate

Recommendation:

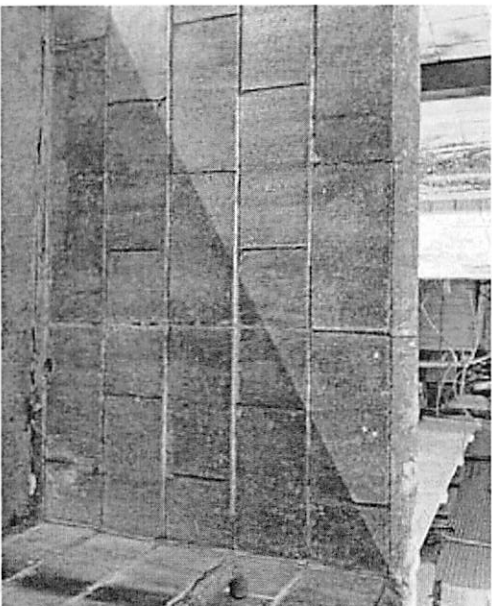
Patch holes to match brick.



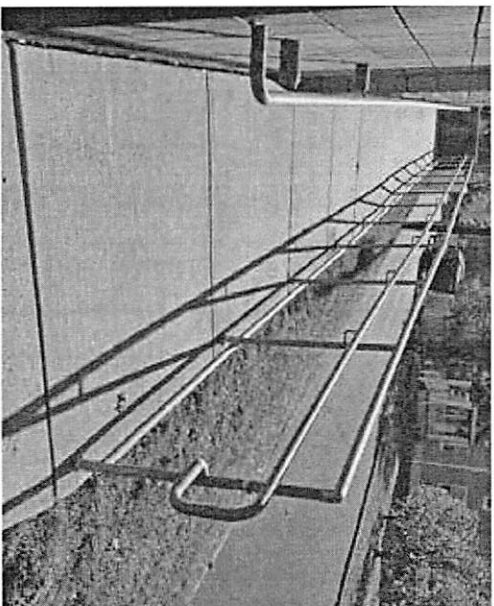
Exterior



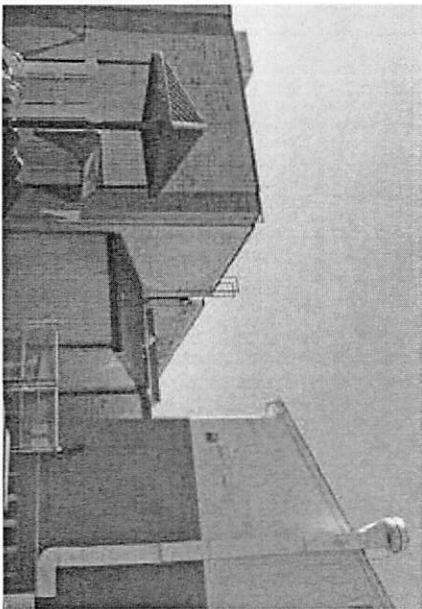
Canopy over emergency egress at Stair #2.



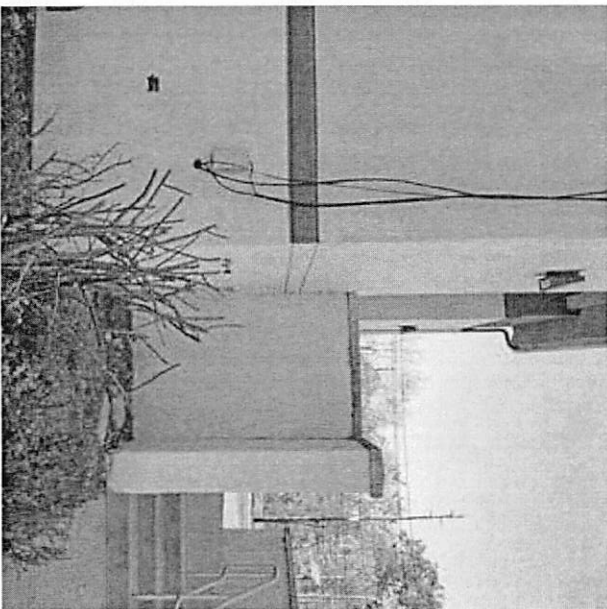
Wall at ramp landing



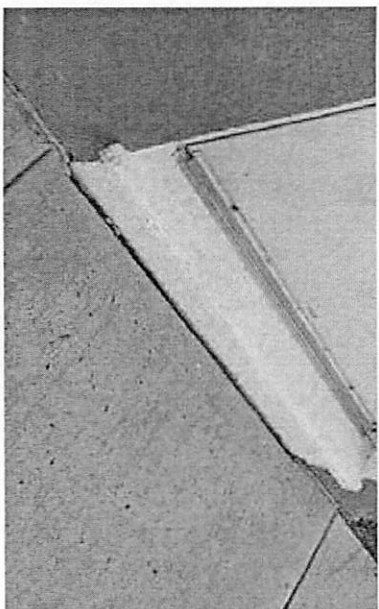
Existing handrail at ramp



East side of main building and gymnasium wing.



Loose wires and cables at east side of main entry.



Step and threshold at egress Stair #2.



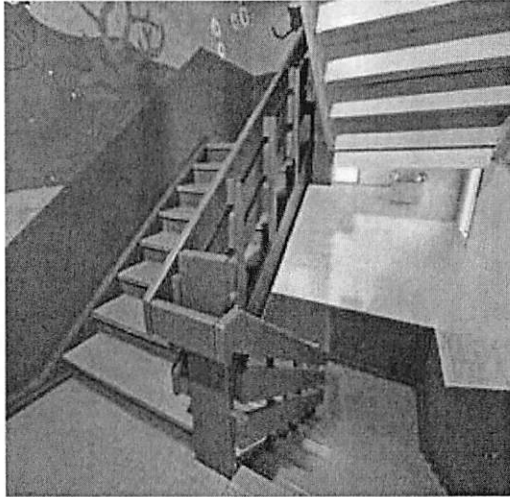
Exterior



View of main entry from parking lot



Stair 1



View of stairs

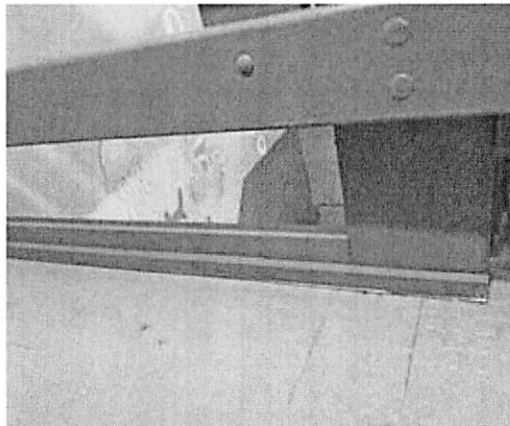
Observation:

The existing stairs are original to the building; there are no handrails and guardrail does not meet code requirements. Stair serves basement, first floor, second floor, and discharges to the exterior.

Priority: Immediate

Recommendation:

Install code-compliant handrails and guardrails



Gap at bottom of guard rail is greater than 4"

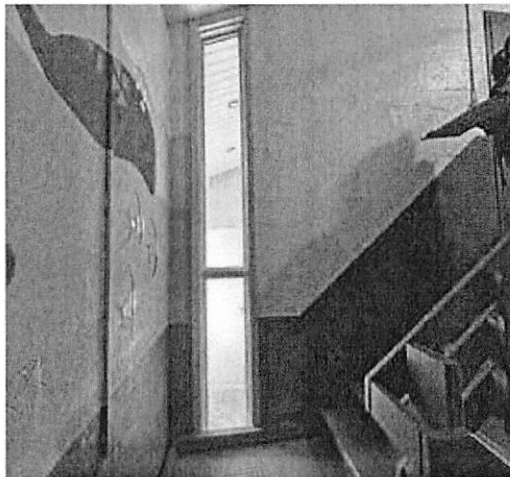
Observation:

Wooden guardrail has been installed to address code issues. Guardrail at steps is less than 42" in height from stair. Handrails are not present. Gap at guardrail at top landing is greater than 4" in width.

Priority: Immediate

Recommendation:

Install code-compliant handrails and guardrails



Window at stair #1

Observation:

Window at stairs. No signs of water damage observed.

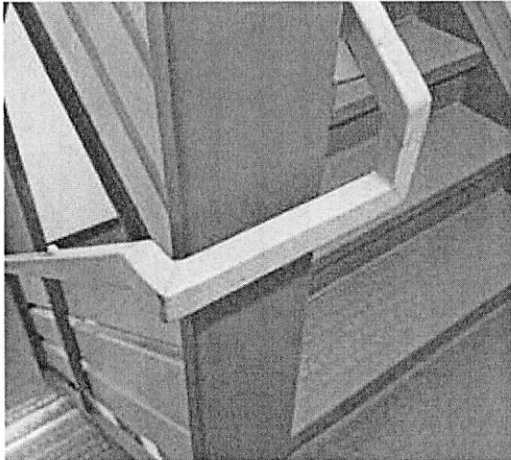
Priority: n/a

Recommendation:

Continue to maintain



Stair 2



Non-compliant handrail and guardrail

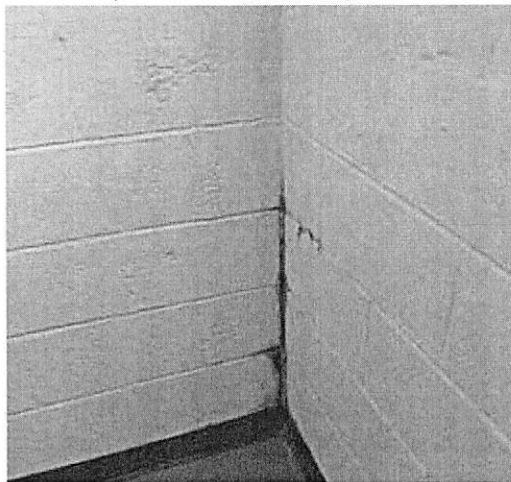
Observation:

These stairs were added ca. 1990 to provide an additional means of egress for the second floor. Handrails are 1" square, and the guardrail does not meet code requirements.

Priority: Immediate

Recommendation:

Install code-compliant handrails and guardrails



Efflorescence and mold at basement landing.

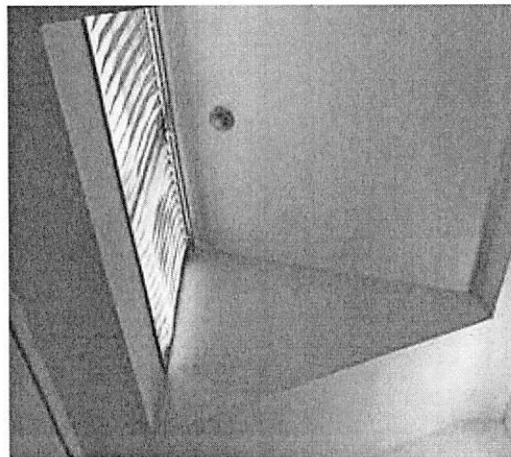
Observation:

Efflorescence noted at basement level along with what appears to be mold and/or water damage.

Priority: Immediate/Short-term

Recommendation:

Immediate: Remove efflorescence and dirt; clean



Clerestory window at top of stairwell

Observation:

Clerestory window at top of stairs. No signs of water damage observed.

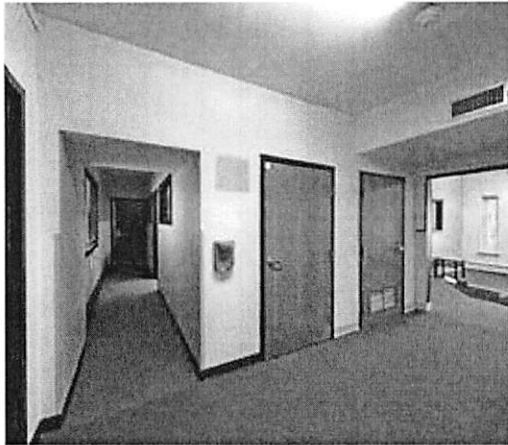
Priority: Short-Term

Recommendation:

Clean window, replace shades



First Floor Interior - Lobby and Corridors (114 and 110)



View of corridor to offices 111 and 112

Observation:

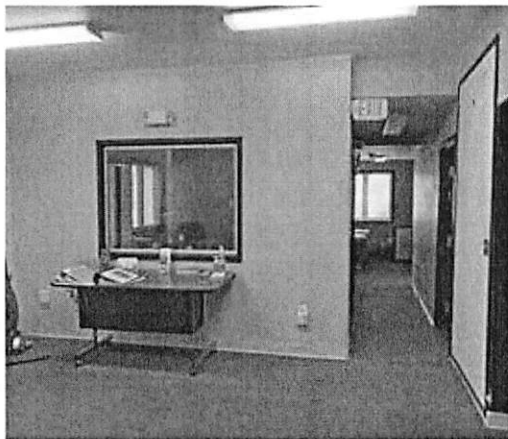
Existing finishes are worn and in need of replacement.

Priority: Immediate / Short-Term

Recommendation:

Immediate: Install new ceiling-mounted light fixtures

Short-Term: Replace floor, base, and wall finishes.



View of office area from lobby

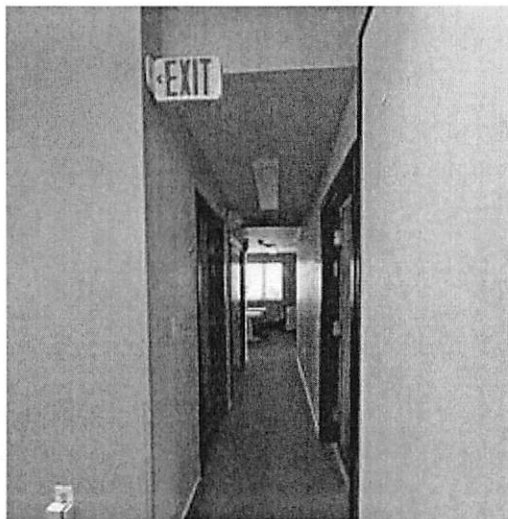
Observation:

Existing service window is difficult to open.

Priority: Short-Term

Recommendation:

Renovate to create secured vestibule with window and accessible counter into reception/security office.



Corridor to rooms 108 and 106.

Observation:

Corridor is 3'-1" wide; this does not provide adequate clearance for the door into room 115.

Priority: Short-Term

Recommendation:

Remove door and infill wall, install door on wall shared with lobby.



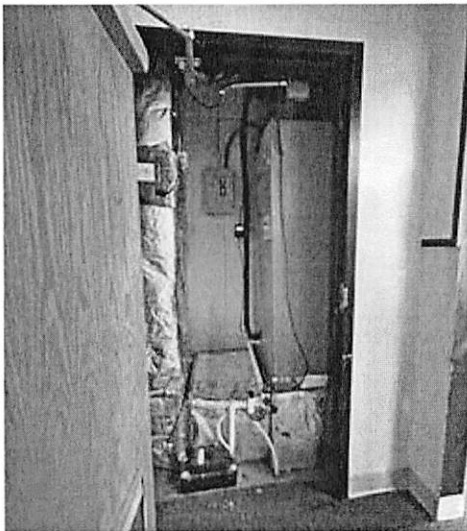
First Floor Interior - Lobby and Corridors (114 and 110)



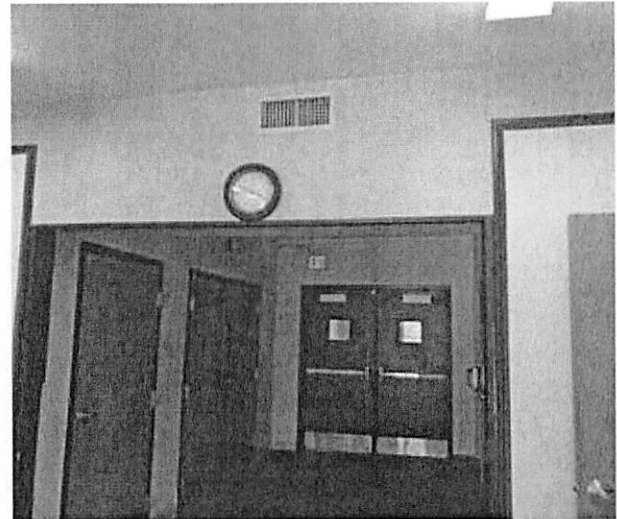
View from corridor to lobby, looking towards vestibule



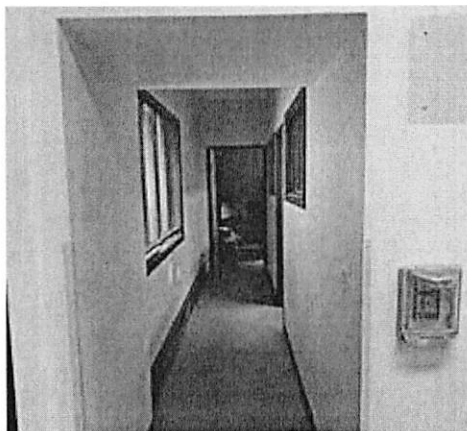
View of classroom 113 from lobby



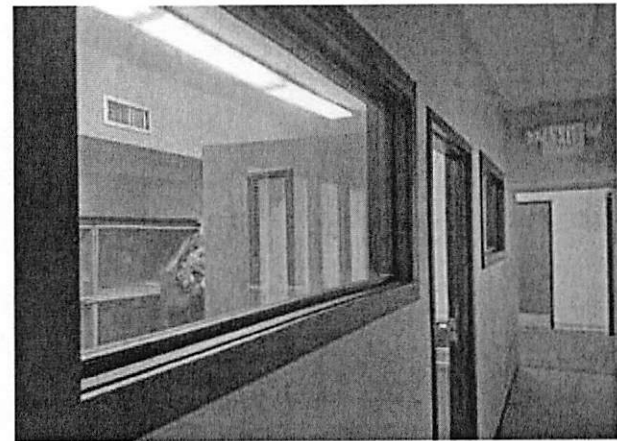
Mechanical room 110C



View of Corridor from Lobby



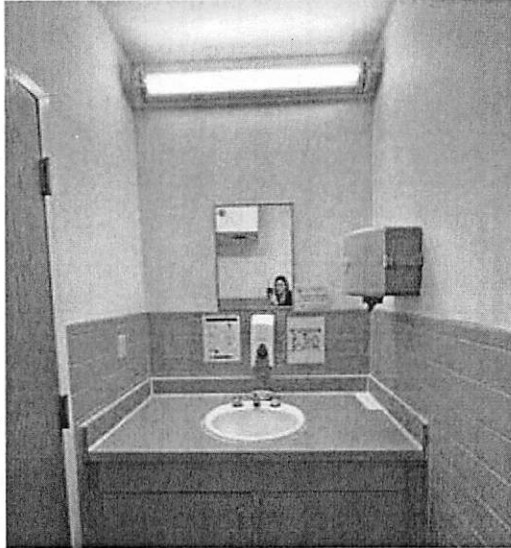
Corridor to offices 111 and 112



West corridor looking into Office 111



Men's and Women's Restrooms (105)



Women's Toilet: Sink cabinet, accessories, and exposed bulbs in lighting fixture.



Men's toilet: Sink cabinet missing panel



Men's toilet and existing baseboard heating

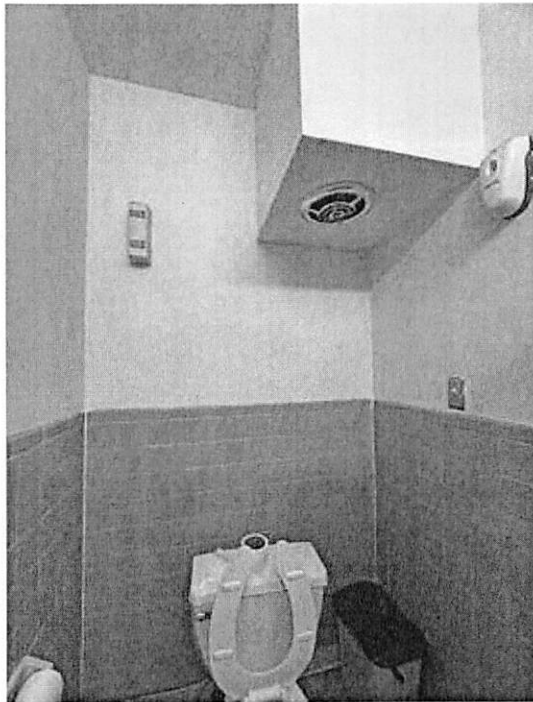
Observation:

Bathrooms are undersized; doors are 2'-0" wide, height of toilets is not code-compliant. Soap dispensers are located directly above faucets, which makes it difficult to use. Lighting is in need of an upgrade. Cabinets missing panels and door hinges damaged. Mirror appears to be more than 40" above the floor.

Priority: Immediate

Recommendation:

Renovate restrooms; create one single-user restroom with 3'-0" door and adjacent Janitor's Closet. Sinks to be wall-mounted or recessed in a cabinet that meets current code requirements. New toilets, grab bars, and code-compliant toilet accessories. Remove and replace floor and wall finishes.



Women's toilet: exhaust fan in soffit above toilet



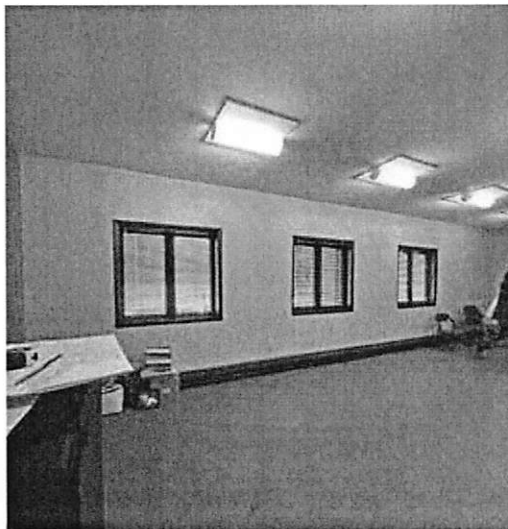
First Floor Interior - Classroom (113)



View towards lobby, existing marker board



Access to Stair#2



Existing finishes

Observation:

Existing finishes are worn and in need of replacement.

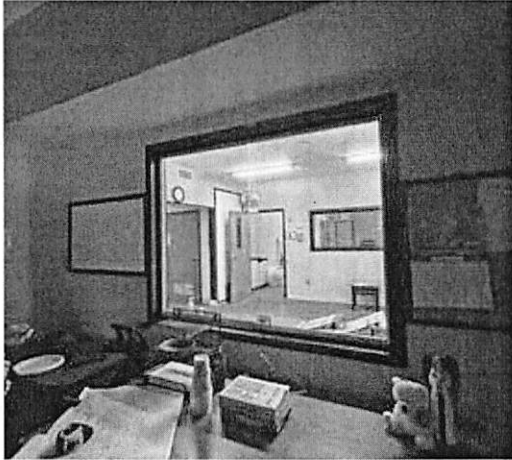
Priority: Immediate / Short-Term

Recommendation:

Replace floor, base, and repaint walls. Room will be divided for elevator, corridor, and offices. Infill window for elevator shaft. Install new ceiling and light fixtures following installation of fire sprinkler system.



First Floor Interior - Office (115)



Existing service window

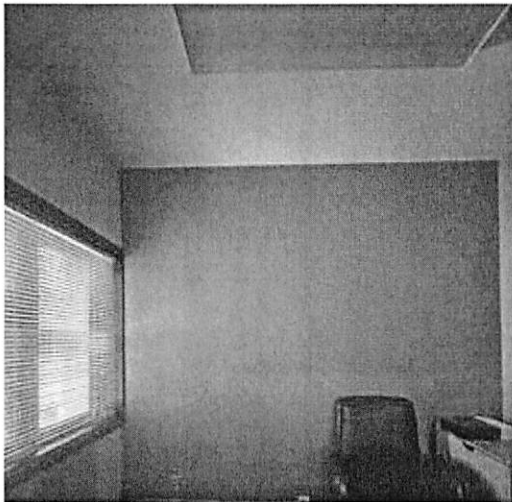
Observation:

Existing service window is difficult to open.

Priority: Short-Term

Recommendation:

Should the Township not require the window, CCH suggests infilling the wall and installing a door from the lobby so the space can function as a private conference room.



Window and ceiling-mounted light fixture

Observation:

Finishes are worn and in need of replacement.

Priority: Short-Term

Recommendation:

Replace floor, base, and repaint walls. Replace window shade. Install new ACT grid, ceiling, and lay-in light fixtures following installation of fire sprinkler system.



Existing wall-mounted answering machine

Observation:

Answering machine installed in wall. Hallway is 3'-1" wide and does not provide adequate clearance for door.

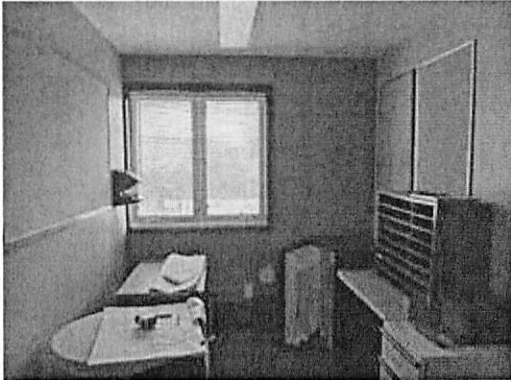
Priority: Short-Term

Recommendation:

Replace floor, base, and repaint walls. Remove answering machine and patch wall. Install new light fixtures. Remove door, infill wall, and relocate door to wall shared with lobby. Install new ACT grid, ceiling, and lay-in light fixtures following installation of fire sprinkler system.



First Floor Interior - Corridor (107) and Office (106)



Corridor 107 - Workspace/kitchenette

Corridor 107

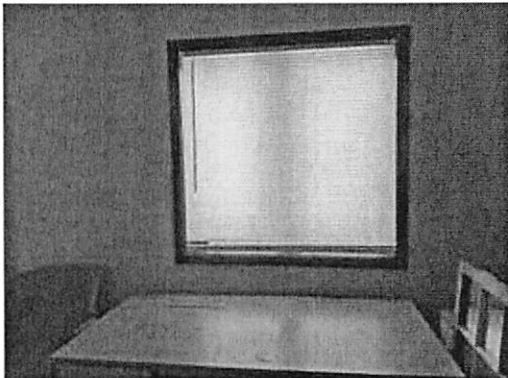
Observation:

Finishes are worn.

Priority: Short-Term

Recommendation:

Replace finishes, window blinds, and repaint. Install new ceiling and light fixtures following installation of fire sprinkler system. Combine with Office 106 and Office 108 to create shared office.



Office 106 - Existing window

Office 106

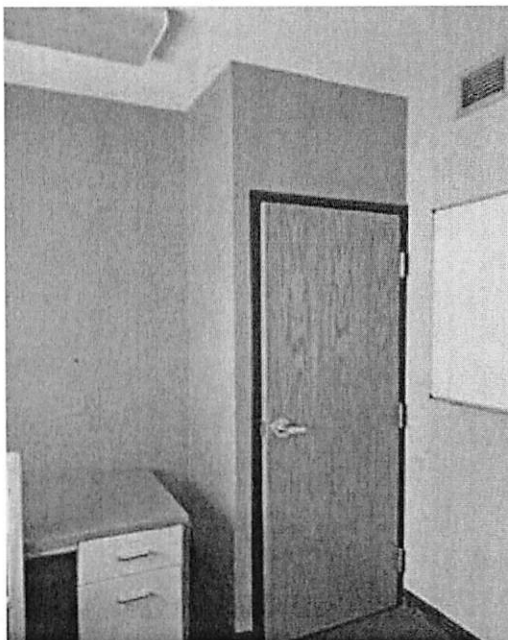
Observation:

Finishes are worn.

Priority: Short-Term

Recommendation:

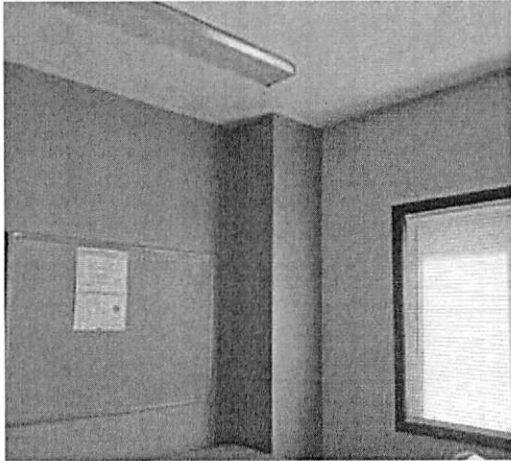
Replace finishes, window blinds, and repaint. Install new ceiling and light fixtures following installation of fire sprinkler system. Combine with Office 106 and Office 108 to create shared office.



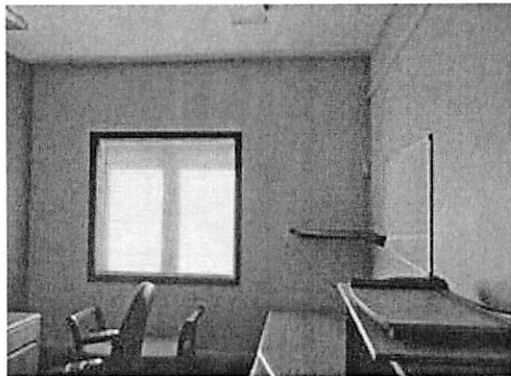
Office 106 - Existing closet



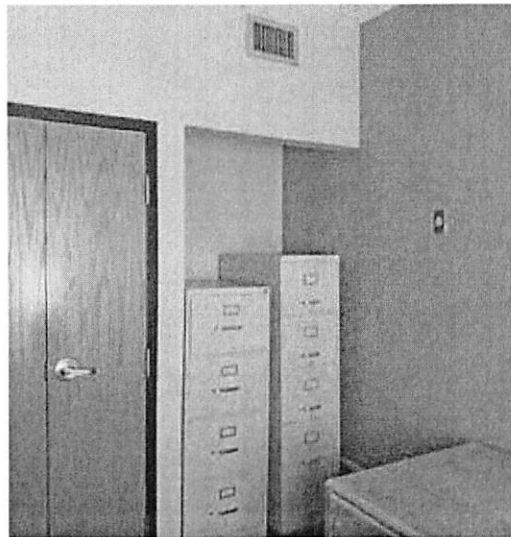
First Floor Interior - Office (108)



Existing window, light fixture, structural column.



Access to Stair#2



Existing closet and soffited storage area

Observation:

Finishes are worn.

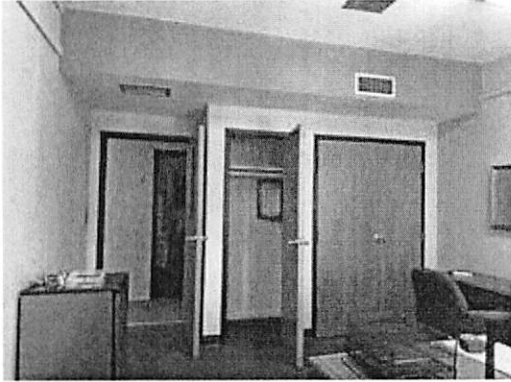
Priority: Short-Term

Recommendation:

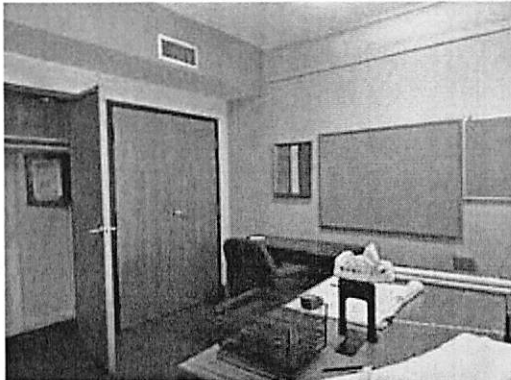
Replace finishes, window blinds, and repaint. Install new ceiling and light fixtures following installation of fire sprinkler system. Combine with Office 106 and Corridor 107 to create shared office.



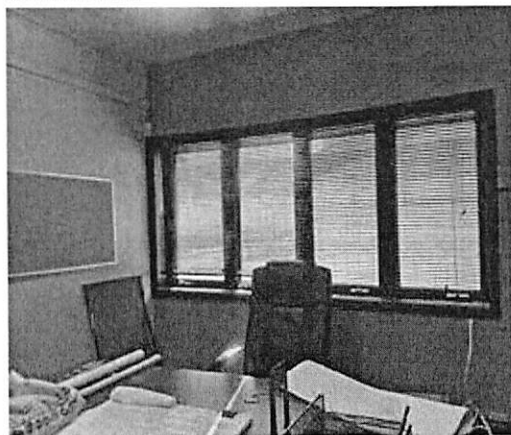
First Floor Interior - Office (109)



Door to hallway, mechanical soffit, and closets



Existing wall finish and wall-mounted accessories

**Observation:**

Finishes are worn. Remove existing finish and repaint.

Priority: Short-Term**Recommendation:**

Replace finishes, window blinds, and repaint. Remove closets to enlarge office. Install new ceiling and light fixtures following installation of fire sprinkler system.

Observation:

Existing blinds are worn.

Priority: Short-Term**Recommendation:**

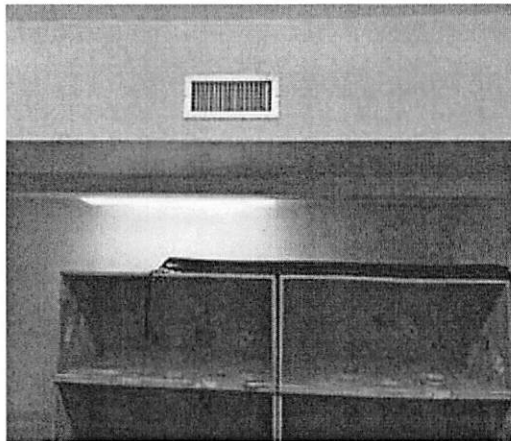
Replace finishes, window blinds, and repaint. Remove closets to enlarge office. Install new ceiling and light fixtures following installation of fire sprinkler system.



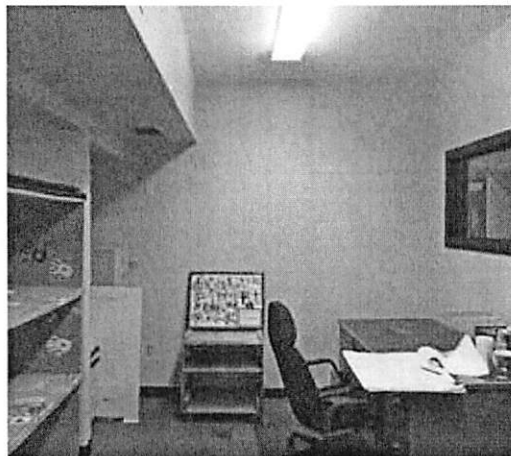
First Floor Interior - Office (111)



Plywood shelving and configuration of soffits and walls



Mechanical soffit



Existing workstation

Observation:

Existing finishes are worn and in need of replacement.

Priority: Short-Term

Recommendation:

Replace floor, base, and repaint walls. Install new light fixtures. Remove plywood shelving. Room to be combined with Office 112 to create larger classroom. Install new ceiling and light fixtures following installation of fire sprinkler system.

Observation:

Bottom of existing mechanical soffit is 7'-2" above finished floor.

Priority: Short-Term

Recommendation:

Continue to maintain mechanical system. Room to be combined with Office 112 to create larger classroom, soffit to remain. Install new ceiling and light fixtures following installation of fire sprinkler system.



First Floor Interior - Office (112)



Windows and door

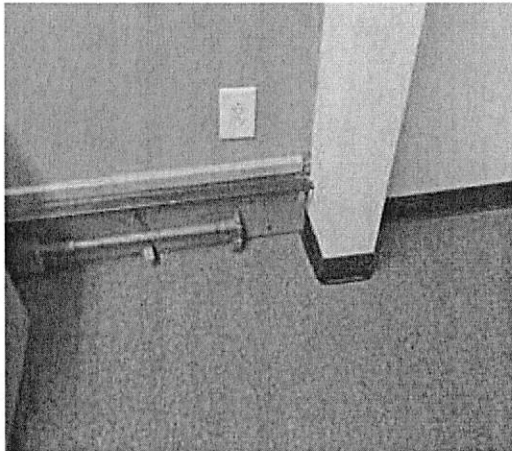
Observation:

Existing finishes are worn and in need of replacement.

Priority: Short-Term

Recommendation:

Replace floor, base, and repaint walls. Remove existing blinds and install new shades. Room to be combined with Office 112 to create larger classroom. Install new ceiling and light fixtures following installation of fire sprinkler system.



Exposed baseboard piping

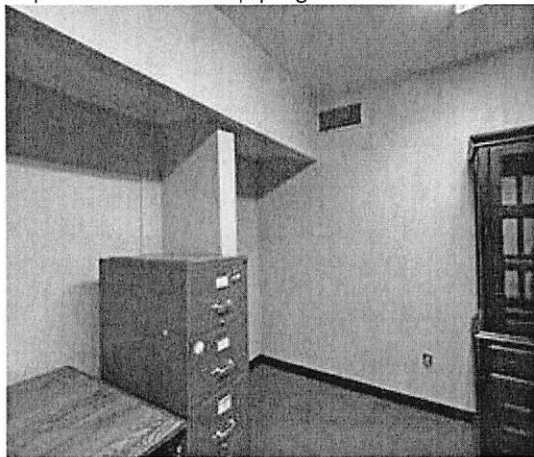
Observation:

Baseboard piping is exposed due to missing cover.

Priority: Short-Term

Recommendation:

Replace baseboard covers.



View of vestibule

Observation:

Walls and soffits existing from previous removal of closet doors and door to Classroom 113.

Priority: Short-Term

Recommendation:

Remove unused walls and maintain mechanical soffit. Install new ceiling and light fixtures following installation of fire sprinkler system.



First Floor Interior - Gym Vestibule (116)



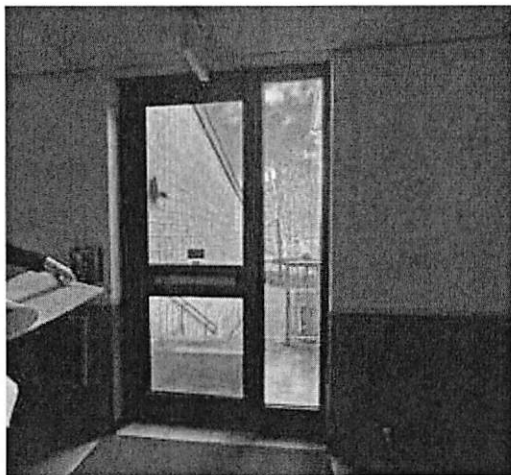
View from vestibule looking towards main building lobby

Observation:

Existing finishes are worn and in need of replacement.

Priority: Short-Term**Recommendation:**

Replace floor, base, and repaint walls. Maintain hardware and fire alarm systems. Install new ACT grid, ceiling, and lay-in light fixtures following installation of fire sprinkler system.



Existing egress door with sidelite.

Observation:

Egress door and sidelite. Door is 3'-0" wide.

Priority: Long-Term**Recommendation:**

Continue to maintain, replace door and hardware when it reaches the end of its useful life.



Ramp to gym

Observation:

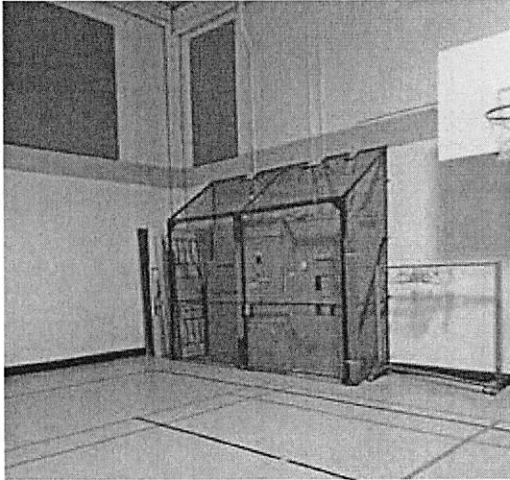
Handrails on both sides of ramp to gym.

Priority: Long-Term**Recommendation:**

Continue to maintain handrails to comply with current code requirements.



First Floor Interior - Gymnasium



Electrical cage

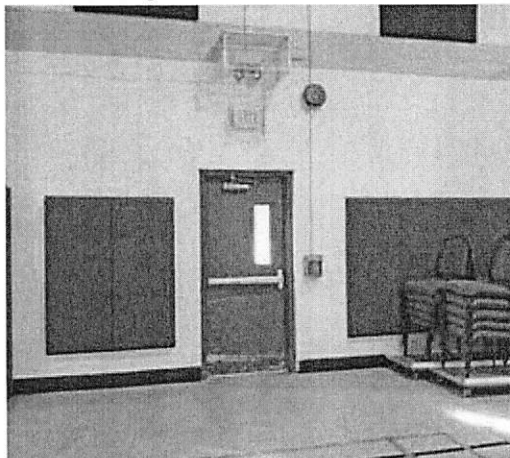
Observation:

Electrical panels and system is located cage in gymnasium, protected by cage.

Priority: Short-Term

Recommendation:

Enclose electrical equipment with walls and apply sports padding to all sides.



Egress door to ramp

Observation:

Door finish is worn. Door is only existing means of accessible entry to building.

Priority: Short-Term

Recommendation:

Replace door and threshold. Consider replacing hardware for egress only.



Damaged floor tiles

Observation:

Floor is worn and tiles are breaking.

Priority: Short-Term

Recommendation:

Replace flooring with sports flooring or VCT.



First Floor Interior - Gymnasium



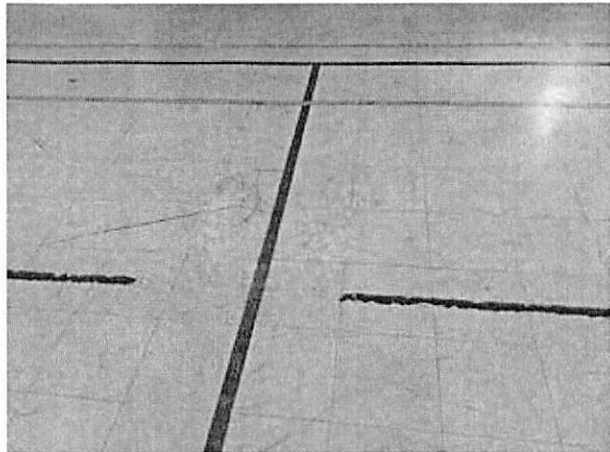
View towards main building and restrooms



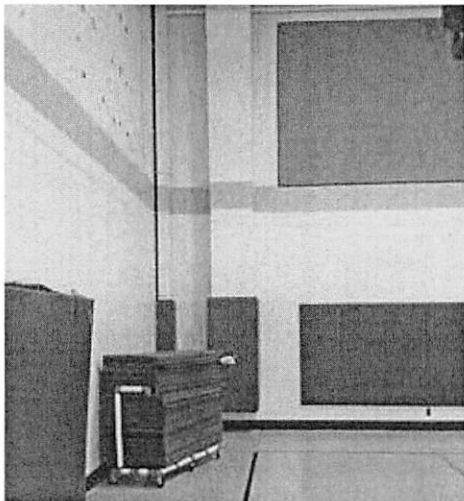
Gymnasium wall



Missing acoustical padding at upper walls



Damaged floor tiles and peeling tape



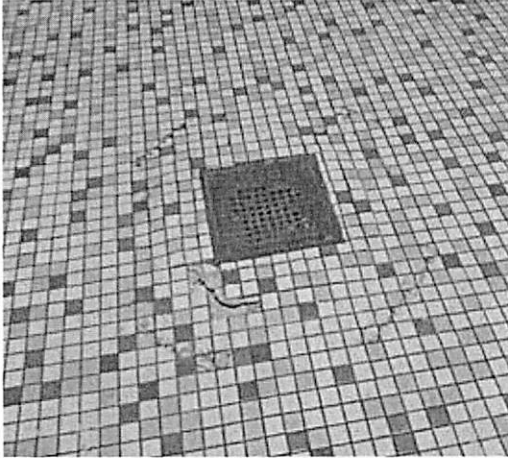
Existing wall-mounted ductwork



Makeshift storage between electrical cage and wall



First Floor Interior - Men's Restroom (116)



Cracked tile and floor raised around floor drain at men's restroom

Observation:

Tiles around floor drain are cracked and floor is raised around floor drain.

Priority: Immediate**Recommendation:**

Remove floor finish and reset floor drain prior to installation of new floor finish.



Accessible toilet stall

Observation:

Vertical grab bar is missing, toilet seat is at 15", code requires height of toilet seat to be 17"-19" above finished floor. Floor tiles are worn.

Priority: Immediate**Recommendation:**

Replace plumbing fixtures, floor, and floor base finishes. Repaint wall. Increase to three WCs at height compliant with code and required grab bars and accessories.



Existing urinals

Observation:

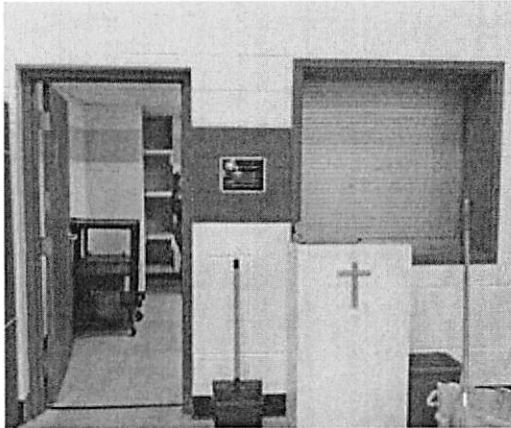
Existing urinals are in need of replacement.

Priority: Immediate**Recommendation:**

Renovate Men's restroom, install one ANSI-compliant stall and one ANSI-compliant urinal.



First Floor Interior - Kitchen



View of kitchen and service window from gymnasium

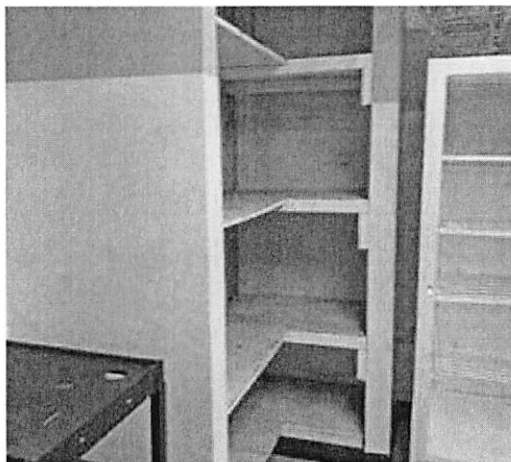
Observation:

Sill of service window is 3'-5" above finished floor. Sill is hollow metal frame, no service counter present.

Priority: Short-Term

Recommendation:

Per code, accessible height of service counter is 36" maximum above floor. Increase masonry opening and install service counter at kitchen side at code-required height.



Existing plywood shelving

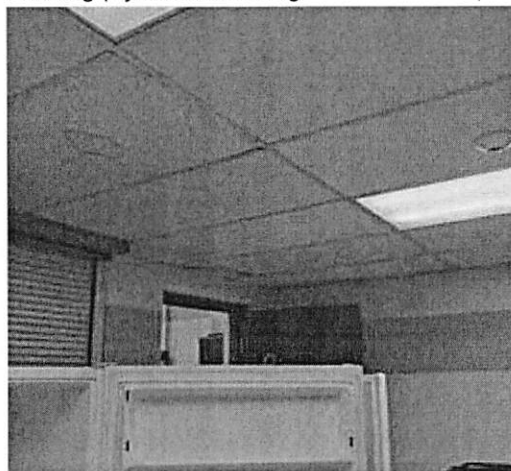
Observation:

Existing shelving is made of plywood and wood framing.

Priority: Short-Term

Recommendation:

Demolish shelving and replace with metal rack shelving that meets standards for commercial kitchen.



Water damage to ceiling

Observation:

ACT ceiling is stained.

Priority: Short-Term

Recommendation:

Replace ACT ceiling, and lighting with scrubbable ceiling tiles and energy-efficient lighting.



Door to kitchen is damaged

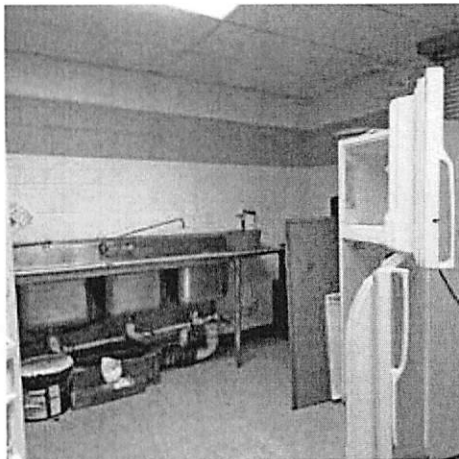
Observation:

Door is damaged

Priority: Short-Term

Recommendation:

Replace door and hardware.



Existing three-compartment sink

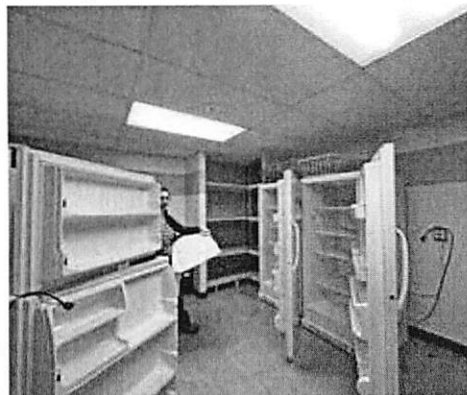
Observation:

Existing three-compartment sink.

Priority: Long-Term

Recommendation:

Continue to maintain; should additional cooking take place verify if grease trap is required.



Existing kitchen

Observation:

Kitchen has multiple refrigerators and storage, no stove/oven or work surfaces.

Priority: Short-Term

Recommendation:

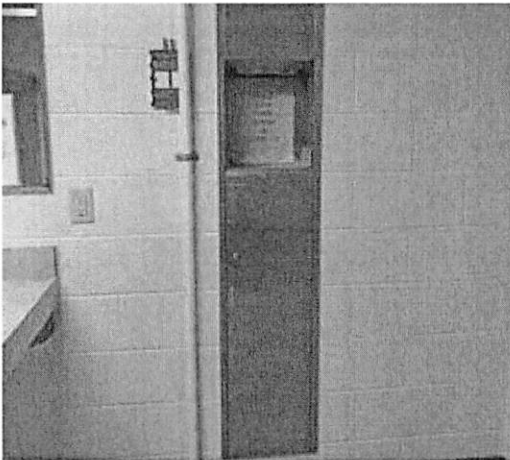
Township may wish to consider reconfiguring kitchen to serve as commercial kitchen.



First Floor Interior - Women's Restroom (118)



Accessible stall missing rear grab bar.
Height of toilet seat is 15" AFF.



Existing paper towel dispenser and trash
receptacle



Sink and counter

Observation:

Vertical and rear grab bars are missing, toilet seat is at 15"; code requires height of toilet seat to be 17"-19" above finished floor. Floor tiles are worn.

Priority: Immediate

Recommendation:

Replace plumbing fixtures, floor, and floor base finishes. Repaint wall. Increase to three WCs.

Observation:

Paper towel dispenser is approximately 60" above floor. This same condition is present at Men's Restroom (116).

Priority: Immediate

Recommendation:

Remove existing dispenser and infill wall; install wall-mounted ADA-compliant paper towel dispenser and hand dryer (48" maximum to controls).

Observation:

Counter is worn and in need of replacement. Soap dispensers are in conflict with faucets. Bottom of mirror is approximately 48" above the floor. Similar condition is present at Men's Restroom (116).

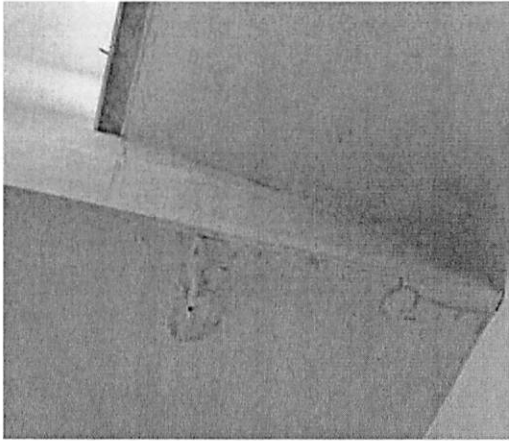
Priority: Immediate

Recommendation:

Remove existing counter, accessories, and mirror. Install new finishes. New sinks to be wall-hung or counter-mounted with code-compliant millwork. Bottom edge of mirror to be installed no higher than 40" above finished floor for code compliance.



Second Floor Interior - Classroom (203)



Water damage at ceiling



Damaged floor tiles at entry to egress stair



Wall between room 203 and 207

Observation:

Water damage at ceiling and soffit.

Priority: Short-Term

Recommendation:

Investigate cause of water damage, replace areas of damaged ceiling.

Observation:

Floor tiles are buckled and lifting from floor. Broken tiles near access to Stair #2.

Priority: Short-Term

Recommendation:

Replace floor tiles and install new threshold at Stair #2.

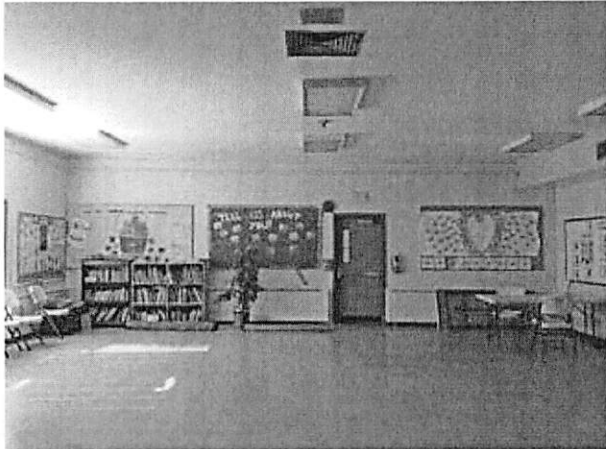
Observation:

Finishes are worn, floor tiles are damaged.

Priority: Short-Term

Recommendation:

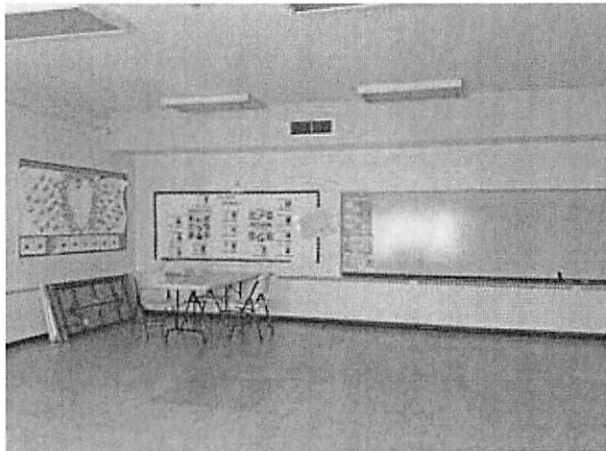
Replace finishes, window blinds, and repaint. Combine with Classroom 207 to create assembly space. Install new ceiling and light fixtures following installation of fire sprinkler system. Room to be subdivided to provide elevator lobby, storage space, and access hallway to Stair #2.



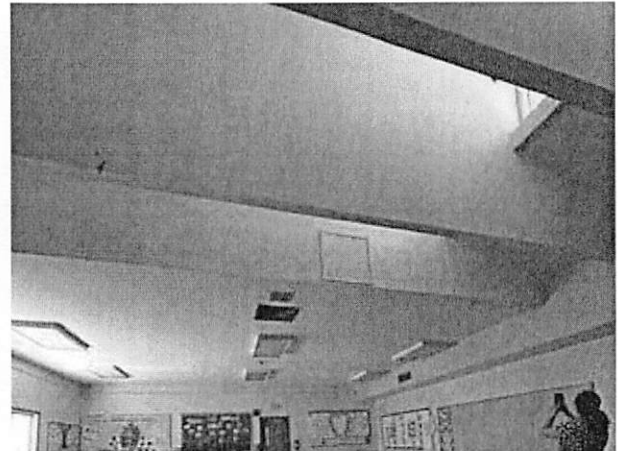
View to egress stair #2



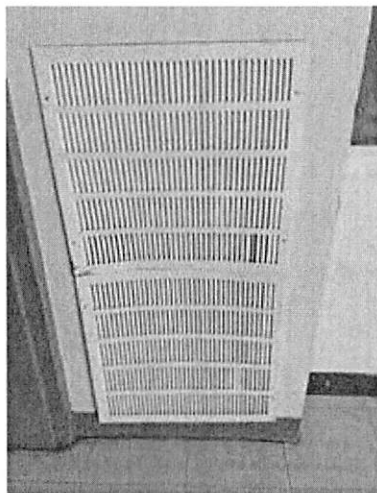
Existing window to remain



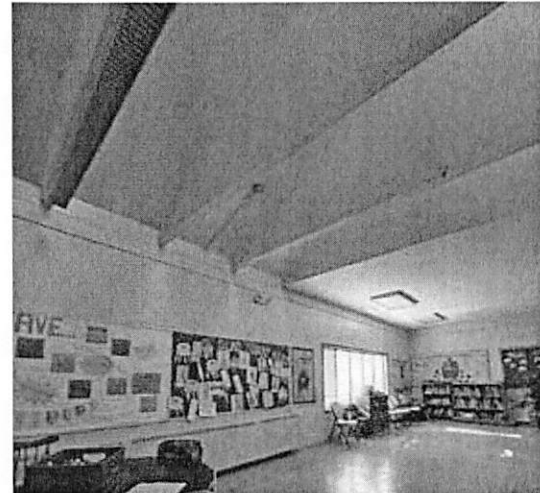
Interior wall with wall-mounted heaters



Ceiling panel with access panel to roof space.



Damaged transfer grille



View of ceiling structure



Second Floor Interior - Classroom (207)



Observation:

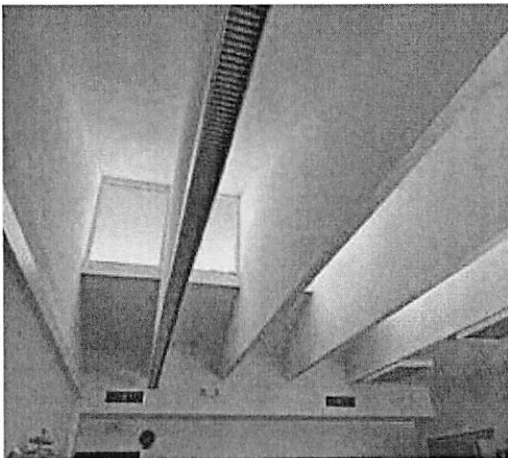
One means of egress from room. Access to Stair #1 from lobby and Stair #2 through room 203.

Priority: Short-Term

Recommendation:

Remove wall between rooms 203 and 207 to create one meeting room with two means of egress

Existing egress door



Existing lighting and clerestory lighting

Observation:

Windows appear to be in good condition. Lighting appears to be insufficient.

Priority: Immediate

Recommendation:

Install new lighting to provide adequate light levels for meeting space.



View to kitchen, storage, and mechanical



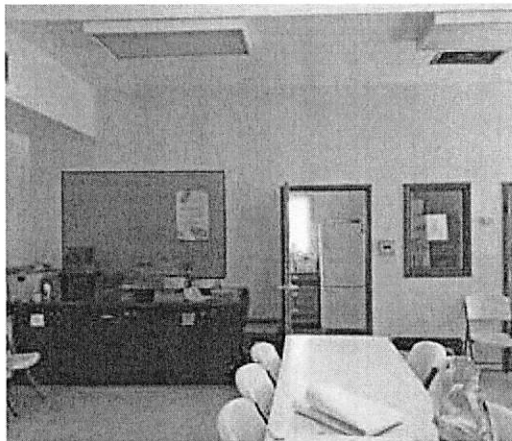
View of ceiling and window



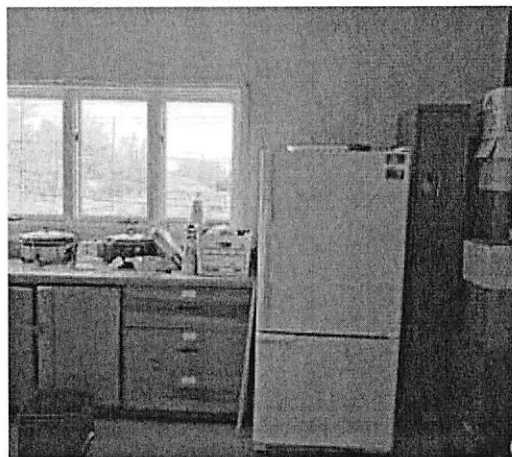
Second Floor Interior - Kitchen (208)



View of kitchen sink and cabinets with window



General view of corridor



Existing lower cabinets and refrigerator

Observation:

Existing plywood cabinets and laminated counters are aged and in poor condition.

Priority: Short-Term

Recommendation:

Renovate as a teaching kitchen. Replace all cabinets, sinks, and install stove, ovens, fire suppression and exhaust systems required by code.

Observation:

There is limited counter space inside kitchen.

Priority: Short-Term

Recommendation:

In order to increase area for teaching kitchen, demolish section of wall, install service window with roll-down door to extend teaching area into meeting room.



Second Floor Interior - Men's and Women's Toilet (205+206)



Women's restroom cabinet and sink

Observation:

Ceiling of women's restroom is sloping, low point of ceiling is 5'-6" above finished floor. Soap dispensers are located directly above faucets, which makes it difficult to use. Lighting is in need of an upgrade. Door to restroom is 2'-0" wide. Toilet seat height is 15" above finished floor.

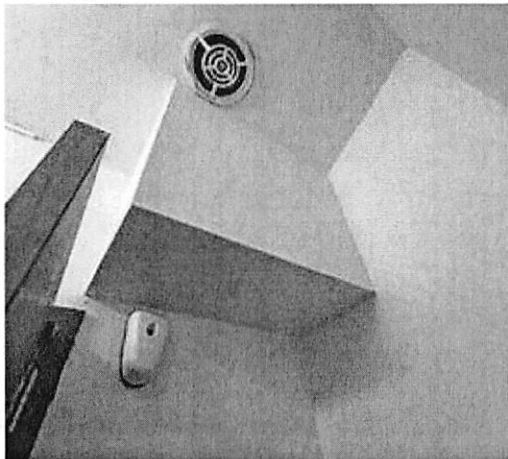
Priority: Immediate

Recommendation:

Renovate restrooms; create into one single-user restroom with 3'-0" door and adjacent Janitor's Closet. Sinks to be wall-mounted or recessed in a cabinet that meets current code requirements. Install new code-compliant toilets, grab bars, and code-compliant toilet accessories. Remove and replace floor and wall finishes.



Existing toilet and accessories with door open



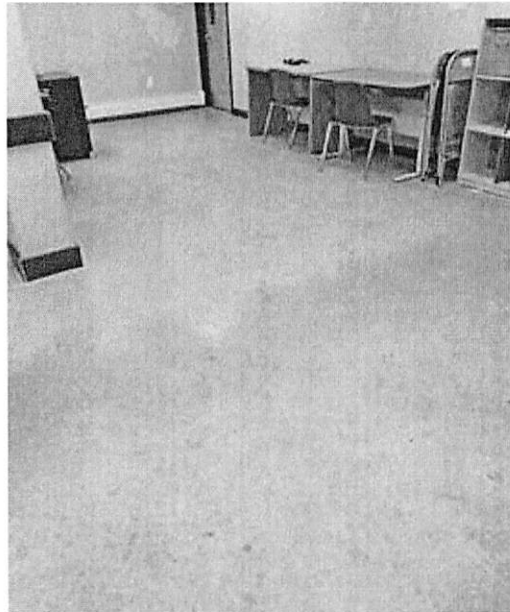
Existing exhaust fan at men's restroom



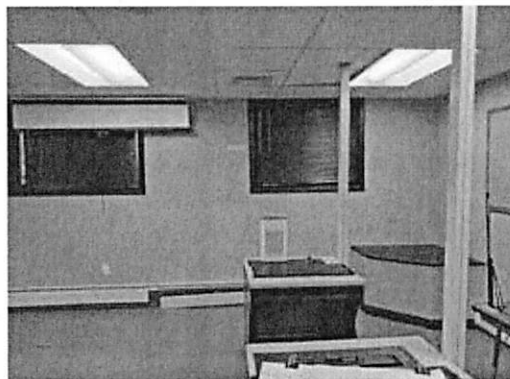
Basement Interior - Classroom (013)



Window to Office 014



Exposed concrete flooring



Damaged baseboard cover and ceiling condition.

Observation:

Ceiling and lighting fixtures are in need of replacement. Existing finishes are worn, and flooring is exposed concrete. Baseboard cover is damaged. Existing projector screen may be reused.

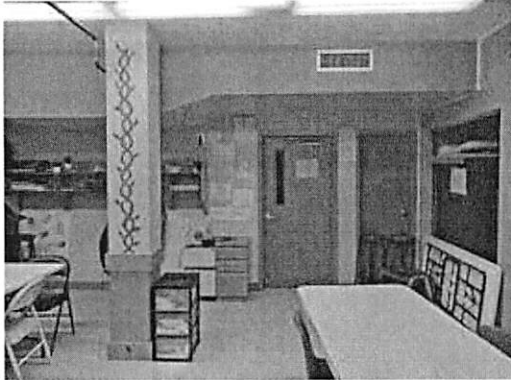
Priority: Short-Term

Recommendation:

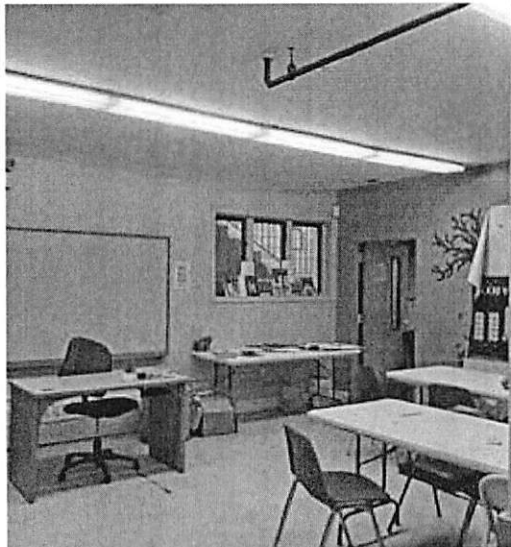
Install flooring, repaint walls, and replace ACT ceiling and upgrade lighting fixtures. Repaint walls. Subdivide space for elevator and elevator lobby, and new partition wall for renovated Classroom 013.



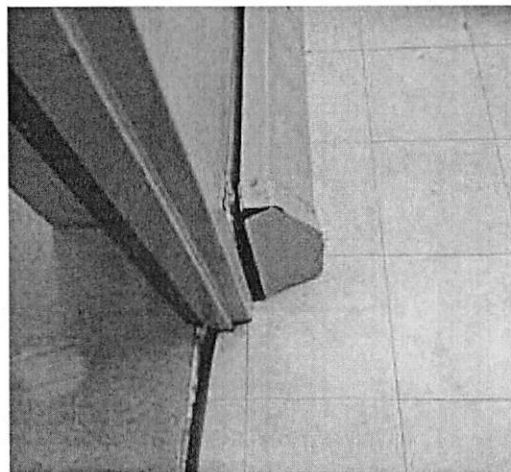
Basement Interior - Classroom (009)



View of classroom towards Corridor 015a



Windows, exposed piping, and light fixtures



Existing baseboards, threshold, and floor

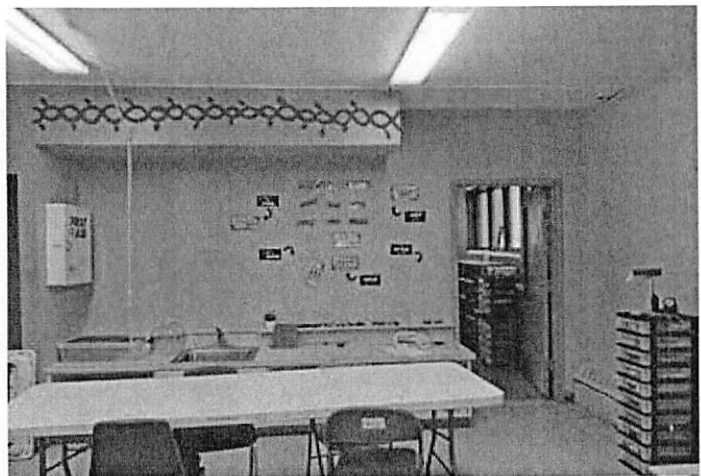
Observation:

Sink and counter are at child height, existing condensate drain. Exposed piping, ductwork concealed in soffits. Lighting and emergency lighting in need of upgrade. Flooring is worn and in need of replacement. Baseboards are damaged. Door to Classroom 013 and Teen/Game Room 006. Closet is former toilet.

Priority: Short-Term

Recommendation:

Remove finishes from closet and install shelving for storage. Replace flooring and repaint walls. Upgrade lighting fixtures. Remove sink and cabinets. Install new ceiling and light fixtures following installation of fire sprinkler system.



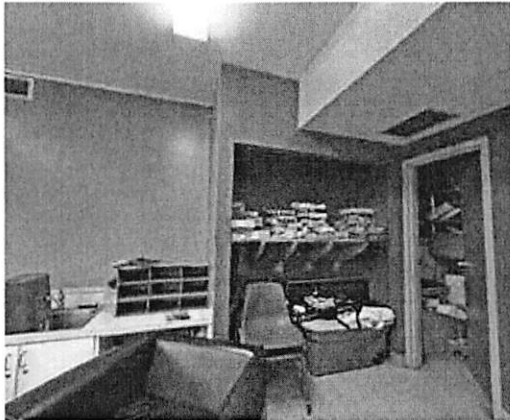
View of classroom showing door to Teen/Game Room 006.



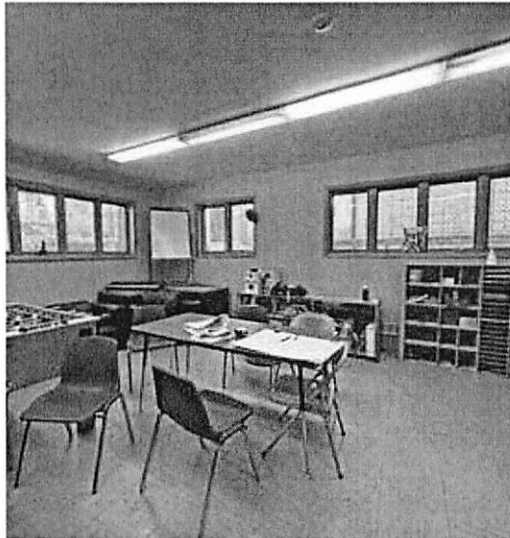
Basement Interior - Teen/Game Room (006)



Exposed sump pump



Existing cabinet with sink and storage areas



Flooring, windows, and lighting

Observation:

Sink and counter are at child height, existing condensate drain. Exposed piping, ductwork concealed in soffits. Lighting and emergency lighting in need of upgrade. Flooring is worn and in need of replacement. Baseboards are damaged. Closet is former toilet with fixtures removed; open storage and shelving throughout room.

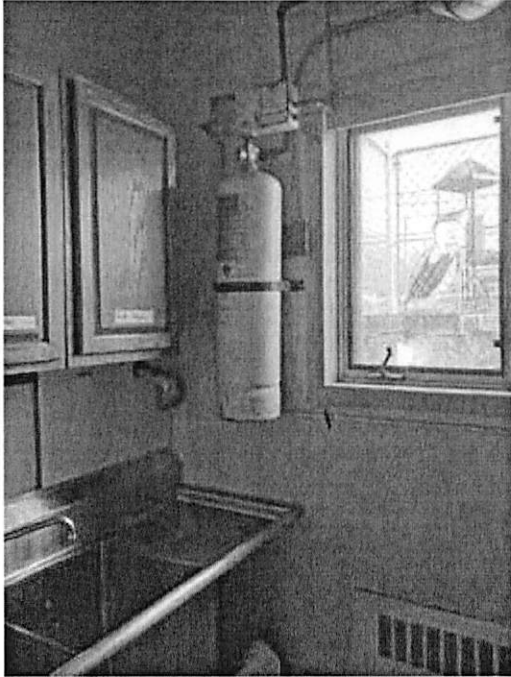
Priority: Short-Term

Recommendation:

Remove finishes from closet and install shelving for storage. Remove sink and cabinets. Replace flooring, repaint walls and ceiling. Remove sink and cabinets. Enclose sump pump in separate room and create closet adjacent to sump pump. Install new ceiling and light fixtures following installation of fire sprinkler system.



Basement Interior - Kitchen (005)



Three-compartment sink, cabinets, and fire suppression system

Observation:

Existing three-compartment sink and industrial stove with hood and remote fire suppression system. Lighting and emergency lighting in need of upgrade. Flooring and stainless steel wall panels are worn and in need of replacement.

Priority: Short-Term

Recommendation:

Replace cabinets, flooring, and stainless steel wall panels.



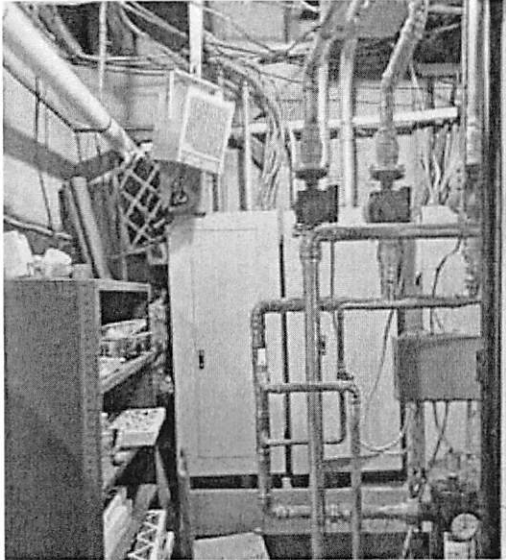
Stove and exhaust hood



Flooring, windows, and lighting



Basement Interior - Boiler Room (104)



Existing storage and piping

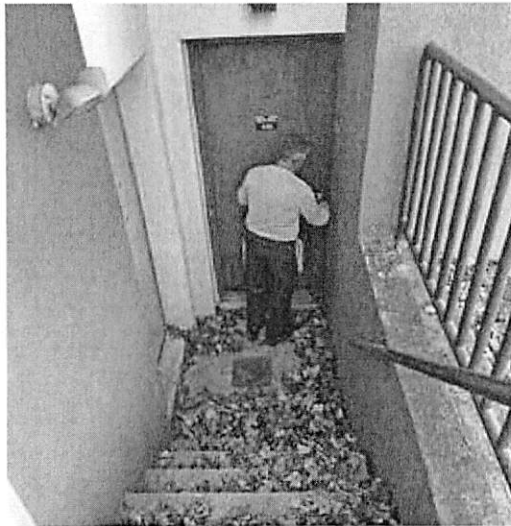
Observation:

Boiler room is also being used as storage.

Priority: Immediate

Recommendation:

Remove storage items from boiler room, relocate to janitor's closet when built. Maintain required clearances for all equipment.



Stairs to boiler room and basement

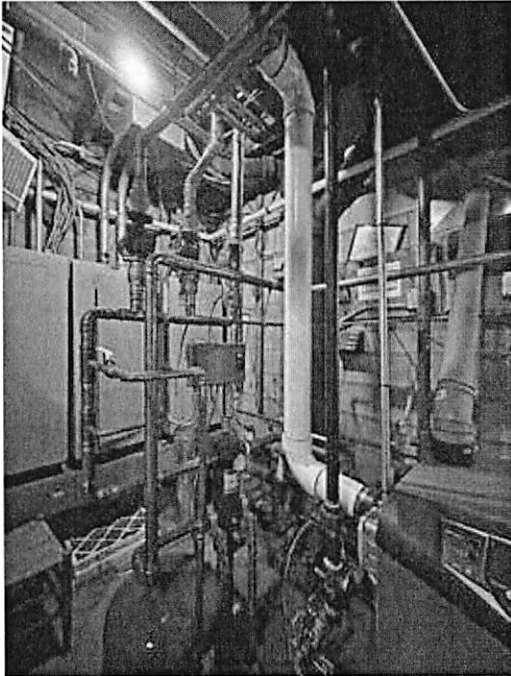
Observation:

Stairs to boiler room lack handrail on wall side; debris and leaves egress stairs.

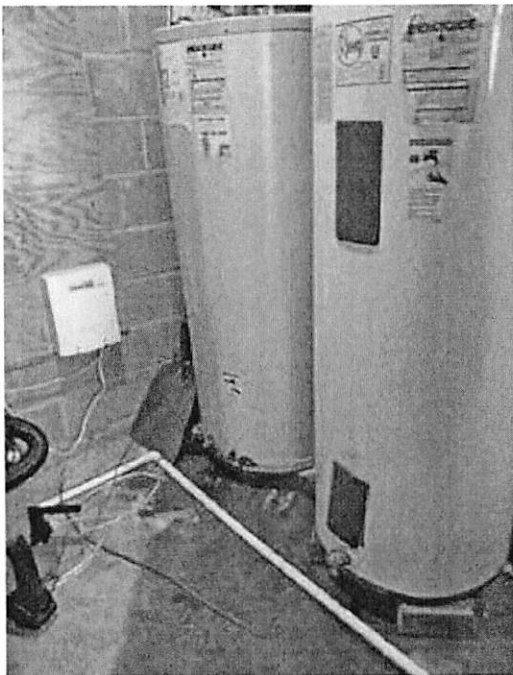
Priority: Immediate

Recommendation:

Install handrail at wall side of stairs, keep areaway clear of debris for a safe means of egress.



Boiler (lower right of image) and piping



Hot water heaters

Observation:

90% efficient boiler, installed ca. 2022.

Priority: Long-Term

Recommendation:

Continue to maintain, replace boiler and hot water heaters when they reach end of useful lives





II. Code Analysis Summary

Clarke Caton Hintz

Applicable Codes

- Building Subcode (NJAC 5:23-3.14) International Building Code, NJ ed./2021
- Plumbing Subcode (NJAC 5:23-3.15) National Standard Plumbing Code, NJ ed./2021
- Electrical Subcode (NJAC 5:23-3.16) National Electrical Code (NFPA 70) / 2020
- Energy Subcode (NJAC 5:23-3.18) ASHRAE 90.1 - 2019
- Mechanical Subcode (NJAC 5:23-3.20) International Mechanical Code / 2021
- Fuel Gas Subcode (NJAC 5:23-3.22) International Fuel Gas Code / 2021
- Rehabilitation Subcode (NJAC 5:23-6)
- Barrier Free Subcode (NJAC 5:23-7) ICC/ANSI A 117.1-2017
- Elevator Subcode (NJAC 5:23-12) ASME A17.1

This code evaluation must be performed from two different perspectives. Any newly created structures or additions must be evaluated against the requirements of the applicable codes listed above. The existing buildings scheduled to remain must be evaluated against the requirements of the rehabilitation subcode for any proposed work. It is likely that the work required for the property will consist of repair, renovation, and alteration.

Use and Occupancy Classifications

Existing Use Group (per BOCA National Building Code 1990)

Lower Floor	I-2	Daycare
Main Floor	B	Business
Upper Floor	A-3	Assembly
Gymnasium	A-3	Assembly

Proposed Use Group:

A-3 Community Center

Note: Per NJAC 5:23-6.31 (b) Table B, there is no proposed change in the Relative Group Hazard. All existing and proposed use groups have a Relative Group Hazard of 3.



Construction Types

Existing Construction Classification:

Main Building	IIIB Exterior Walls Non-combustible
Gymnasium	IIB Non-combustible

Proposed Construction Classification:

Elevator/Stair	IIB Non-combustible
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Building Height and Area

Existing Height:	2 Stories (38'-0")
-------------------------	--------------------

Proposed Height:	Unchanged
-------------------------	-----------

Allowable Height per Tables 504.3 and 504.4:

IIIB Const. / A-3 Use / non-sprinklered	55'-0" / 2 Stories
IIB Const. / A-3 Use / non-sprinklered	55'-0" / 2 Stories

Actual Building Area (Existing):

Basement = 3,067 SF
First floor = 10,037 SF
Second floor = 2,760 SF
Total = 14,695 SF

Proposed Building Area:

Basement = 3,102 SF
First Floor = 10,132 SF
Second Floor = 2,750 SF
TOTAL = 15,984 SF



Fire Resistance Rating Requirements:

TABLE 601
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE III
	B
Primary structural frame ^f	0
Bearing walls	2 0
Exterior ^{a, f}	
Interior	
Nonbearing walls and partitions	See Table 602
Exterior	
Nonbearing walls and partitions	0
Interior ^d	
Floor construction and associated secondary members (see Section 202)	0
Roof construction and associated secondary members (see Section 202)	0

Note: All shafts will be enclosed with a two-hour rated assembly.

Fire Resistance Rating Requirements Based on Separation Distance:

Note: All exterior walls will be two hour rated per the construction type

Fire Suppression System:

The building is not currently have a fire suppression system.

The design concept in this study recommends the building to be sprinklered as the separation of egress stairways is less than one-half of the maximum overall diagonal dimension of the building and greater than one-third of the length of the maximum overall diagonal dimension of the area served (Section 1007.1.1 exception 2):

Maximum diagonal dimension = 77'-9"

Distance between egress stairs = 38'-2"

One-half of maximum diagonal dimension = 38'-10"

One-third of maximum diagonal dimension = 25'-11"



Number of Required Exits:

Two exits are required from any space where the design occupant load or common path of exceeds the values listed in table 1006.2.1

**TABLE 1006.2.1
SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY**

OCCUPANCY	MAXIMUM OCCUPANT LOAD OF SPACE	MAXIMUM EXIT ACCESS TRAVEL DISTANCE (feet)		
		Without Sprinkler System (feet)		With Sprinkler System (feet)
		Occupant Load		
		OL ≤ 30	OL > 30	
A ¹ , E, M	30	75	75	75 ^a
B	49	100	75	100 ^a
F	49	75	75	100 ^a
H-1, H-2, H-3	3	NP	NP	24 ^b
H-4, H-5	10	NP	NP	75 ^b
I-1, I-2 ^c , I-3	10	NP	NP	75 ^b
I-3	10	NP	NP	100 ^b
R-1	10	NP	NP	75 ^b
R-2	20	NP	NP	125 ^b
R-3 ^d	20	NP	NP	125 ^b
R-4 ^d	20	NP	NP	125 ^b
S ^e	29	100	75	100 ^a
U	40	100	75	75 ^a

Note: Two exits will be provided at each floor.

Maximum Area of Exterior Wall Openings:

**TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON
FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION**

FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA ^a
0 to less than 3 ^{b,c,d}	Unprotected, Nonsprinklered (UP, NS)	Not Permitted ^a
	Unprotected, Sprinklered (UP, S) ^f	Not Permitted ^a
	Protected (P)	Not Permitted ^a
3 to less than 5 ^{b,c}	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S) ^f	15%
	Protected (P)	15%
5 to less than 10 ^{b,c}	Unprotected, Nonsprinklered (UP, NS)	10% ^a
	Unprotected, Sprinklered (UP, S) ^f	25%
	Protected (P)	25%

Note: Openings will be provided below the percentage allowed based on separation distance per table 705.8.

Occupant Load:

Basement = 99 occupants
 First Floor = 350 occupants
 Second Floor = 108 occupants
 Total = 557 occupants



Plumbing Fixture Calculations:

Occupants with reduction per 7.21.2 of the Plumbing Code:

$$557 \times 2/3 = 368 \text{ occupants}$$

Occupants by gender:

$$368 / 2 = 184 \text{ occupants}$$

Required Fixtures:

Men: 3 WC / 3 Lav

Women: 3 WC / 3 Lav

1 drinking fountain required (2 existing)

1 service sink required per floor

Summary of Code Issues:

The most pressing code issues can be addressed by installing handrails and guardrails at stairs, installing code-compliant toilet fixtures, and altering the toilets next to the main entrance on the first and second levels so that they are accessible by code and a janitor's closet can be accommodated in that space. Per the Rehabilitation subocode NJAC 5:23-6.1(d)7, "Improvements to the accessibility of buildings may be required when alteration work is undertaken."





III. Prioritization

Clarke Caton Hintz

Existing conditions for 295 Eggert's Crossing Road were assessed during site visits on October 25 and November 7, 2024. These assessments are based on visual, non-destructive observations. This recommendations section will provide guidance for future work. It incorporates the recommendations of the building analysis, code review and engineering systems analysis sections.

Based on discussions with Lawrence Township, the renovations will be phased according to priority and the Township's budget.

There are items which need varying levels of repair: Immediate, Short Term and Long Term:

- **Immediate** are those repairs and recommendations that must be completed to remedy safety concerns or to protect the building. We recommend that these repairs be undertaken immediately and be completed within 1-2 years.
- **Short Term** are those recommendations and repairs which can most efficiently be undertaken in conjunction with the overall rehabilitation of the building and/or repairs. They are based on the program requirements for new use and if delayed, will not pose a threat to the building, its fabric or its users. We recommend that work in this category be completed within 2-4 years.
- **Long Term** are those repairs and recommendations which relate to the interpretation of the building and the site. Deferment of these recommendations will not create hazardous conditions for the building or its users.

Phase 1 consists of "Immediate" level repairs and renovations to the first floor, including finishes and alterations. It also includes the installation of an elevator and ramp at the building's entrance. Phase 2 includes renovations in the "short-term" category at the second floor. Phase 3 encompasses renovations at the basement level.

An environmental hazard review was not performed as part of this project. Any required remediation should be completed prior to the start of any renovations or new construction.



Phase 1A - First Floor, Main Building

Code Compliance:

- a. Address accessibility issues: install elevator and reconfigure main entry to include ramp at main entry
- b. Install handrails and guardrails at stairs
- c. Install code-compliant plumbing fixtures at staff restroom and include janitor's closet with service sink.
- d. Introduce janitors closets with service sinks on first floor as required per code

MEP/FP:

- a. Install fire suppression system at main building
- b. Maintain systems as needed
- c. Change filters and clean grilles and diffusers

Interior

- a. Floor finish upgrade at first floor
- b. Install and paint new ceilings following installation of fire suppression system
- c. Paint first floor walls

Phase 1B - First Floor, Gymnasium Wing

Code Compliance:

- a. Renovate restrooms, replace accessories. Install changing stations, none currently exist in building

MEP/FP:

- a. Install fire suppression system at gymnasium wing building
- b. Upgrade lighting at gymnasium wing (restrooms, kitchen, and corridors)
- c. Maintain systems as needed

Interior

- a. Replace gym flooring
- b. New acoustic and sports padding at gym
- c. Enclose electrical in separate room

Phase 2 - Second Floor

Code Compliance

- a. Renovate existing restrooms and include janitors closets with service sink



Finishes

- a. Floor finish upgrades
- b. Paint walls
- c. Renovate second floor kitchen as teaching kitchen; install exhaust and fire suppression systems and kitchen equipment.

MEP/FP

- a. Install exhaust system and fire suppression system at second floor kitchen

Phase 3

Code Compliance

- a. Renovate basement storage as restroom, install new accessories and changing station
- b. Install code-compliant plumbing fixtures at basement
- c. Introduce janitors closets with service sinks at basement level as required per code

Finishes

- a. Replace interior finishes and paint rooms at basement
- b. Floor finish upgrade at basement

MEP/FP

- a. Evaluate exhaust system and replace fire suppression system at basement kitchen

Long-Term Maintenance

Building Systems

- a. Maintain accessible egress and elevator system.
- b. Replace plumbing fixtures with code-compliant fixtures when they have reached the end of their useful lifespan

Building Envelope

- a. Continue to maintain roofing. Roofing at gym was replaced ca. 2010. Replace roofing when it has reached end of its useful lifespan
- b. Repoint masonry and seal any cracks in retaining walls and foundation

MEP/FP:

- a. Continue to monitor and maintain systems: air handling units at gym and boiler





IV. Design Concept

Clarke Caton Hintz

Accessibility is the main issue at the existing building. This concept addresses accessibility at the entrance by reconfiguring the front entrance with a stair and ramp on either side of a landing at the level of the first floor.

The plan includes the addition of an elevator within the envelope of the existing main building. The interior of the western side of the building would be reconfigured to maintain a classroom at the first floor level and provide space for the elevator lobby.

With the introduction of a fire suppression system the existing stairs can remain as they are separated by a distance of less than one-half and more than one-third of the building's maximum diagonal dimensions.

Phase 1A:

- Reconfigure front entrance and add ramp
- Reception/Security vestibule
- Elevator
- First floor finishes
- Fire Suppression System at main building
- Lighting upgrades - main building
- New ceilings - entire building
- Renovation of office areas and classroom

Phase 1B:

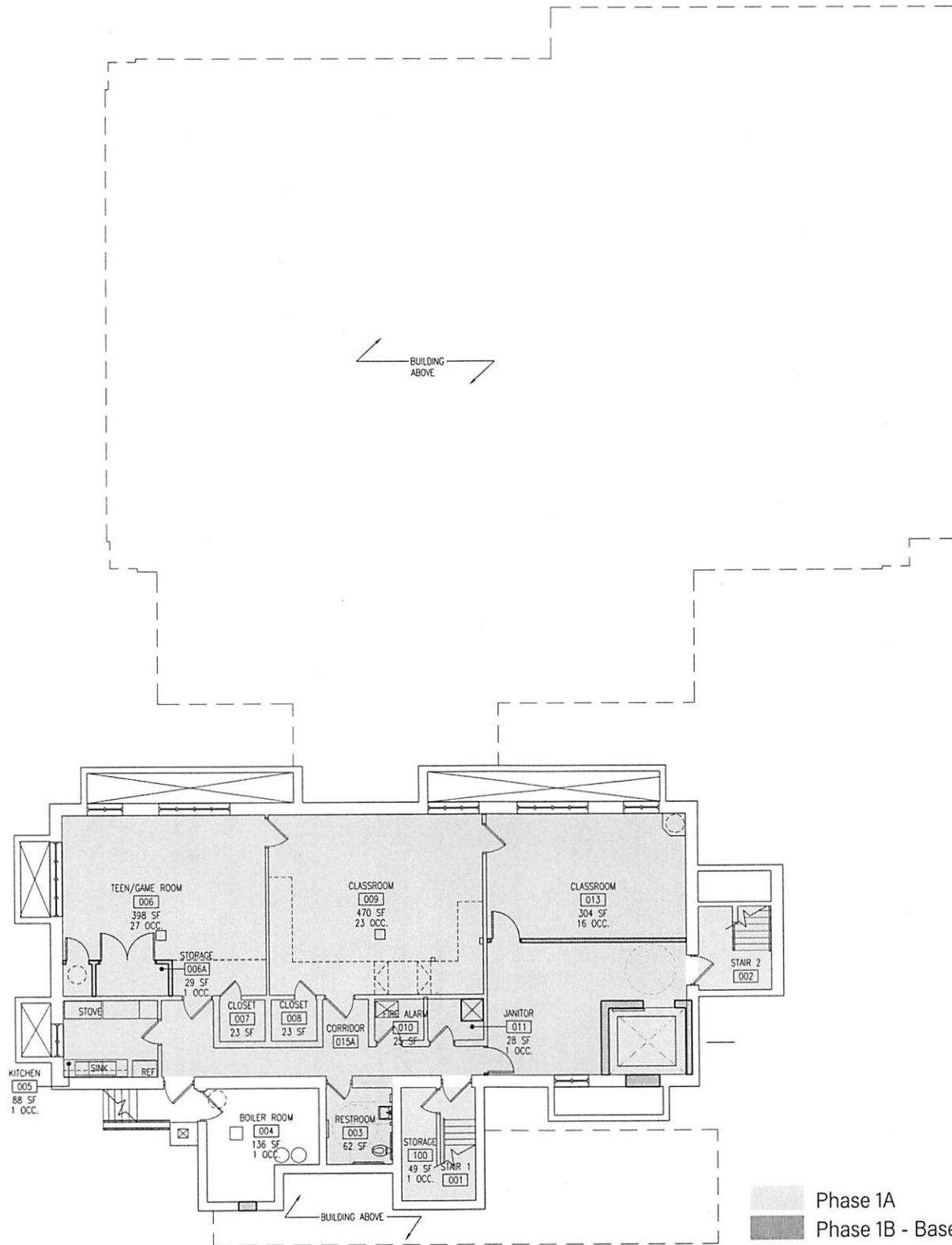
- Gym floor replacement
- Build out enclosure for electrical equipment at gym
- Fire Suppression System at Gymnasium wing
- Lighting upgrades - Gymnasium wing
- Renovate restrooms at gymnasium
- Renovate First Floor Kitchen (Alternate)

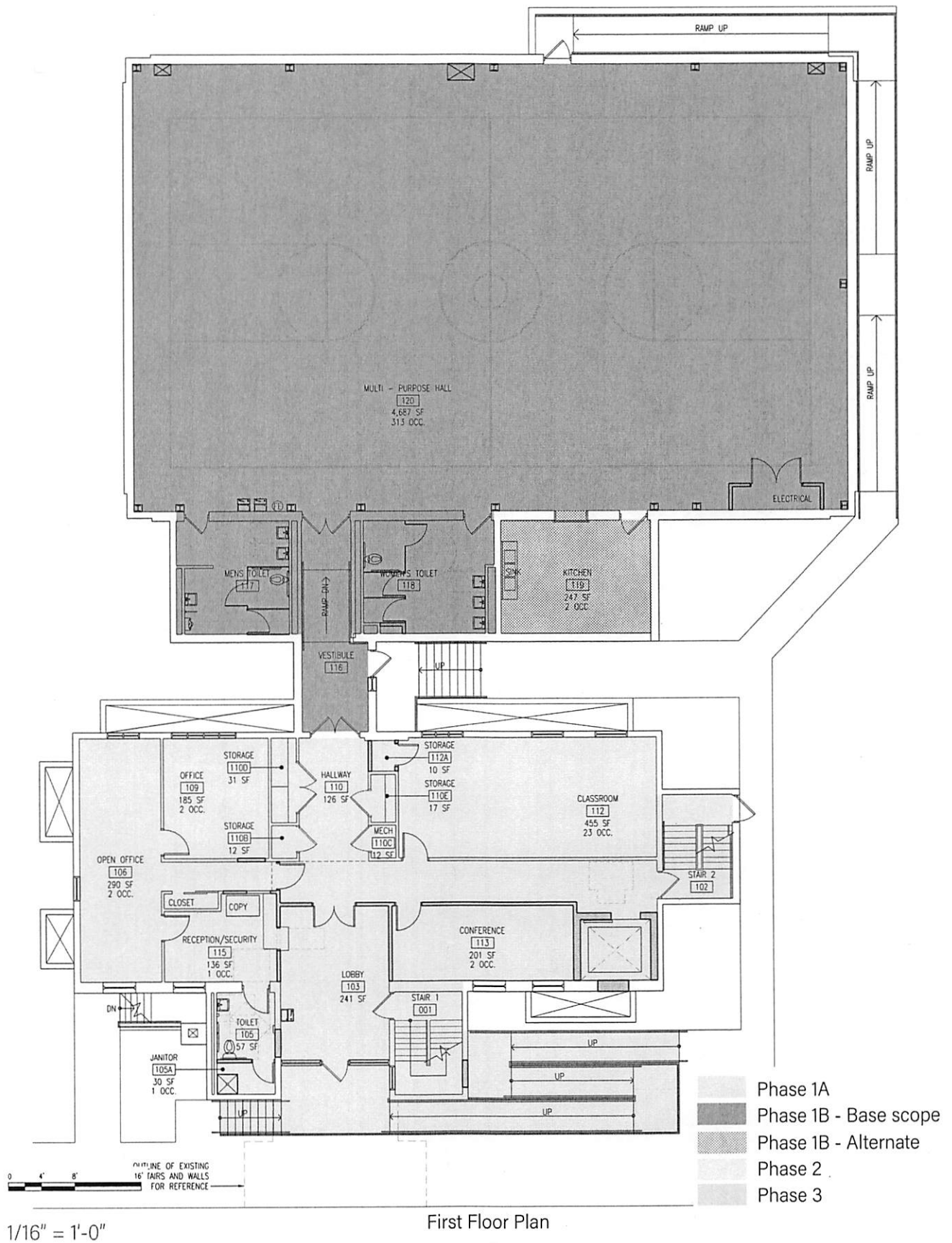
Phase 2:

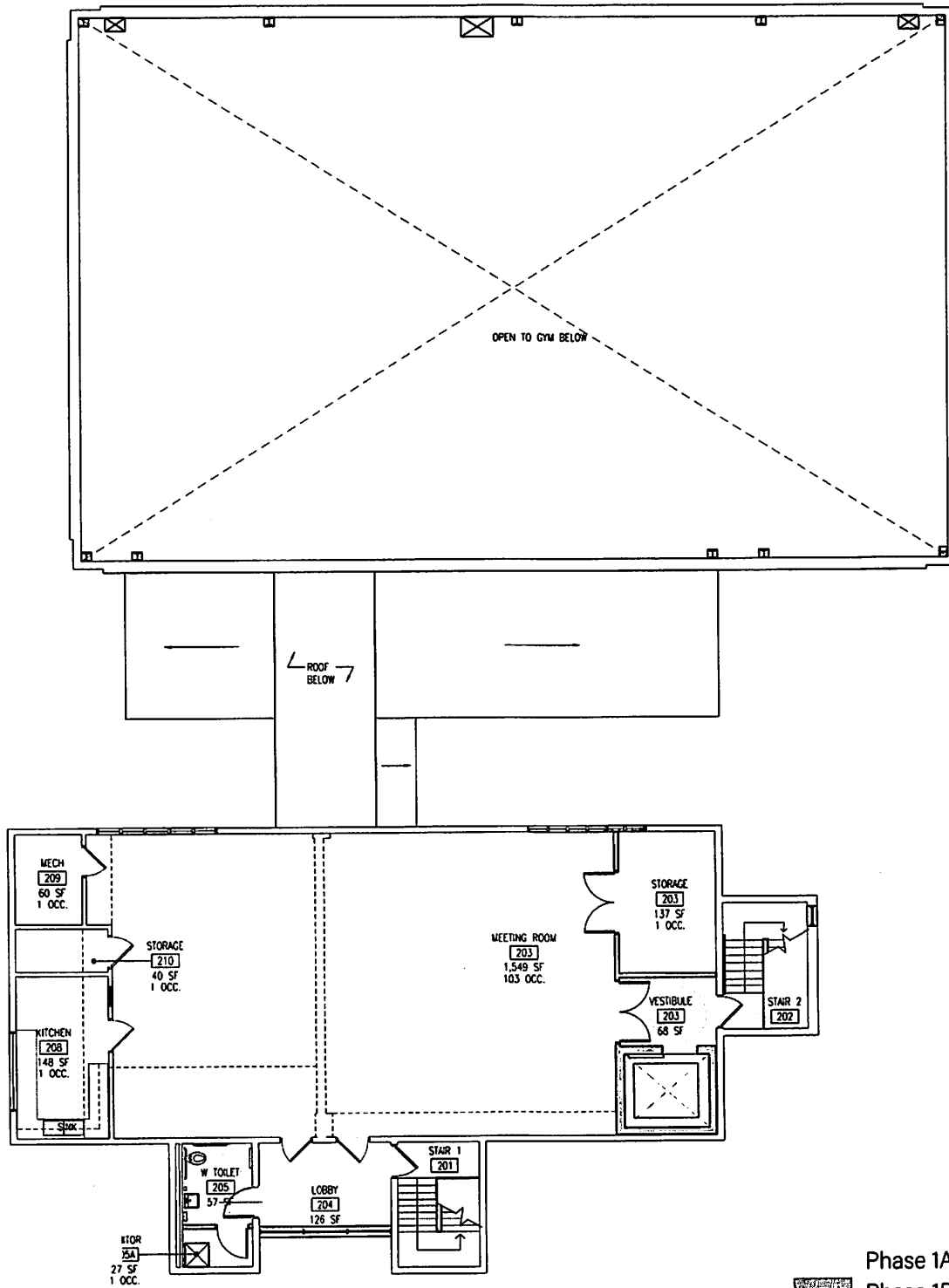
- Second floor renovations

Phase 3:

- Basement renovations







Second Floor Plan



V. Opinion of Cost

Phase 1A - First Floor Renovations, Main Building

	Description	Unit price	QTY	Amt	Total
Demolition	Demolish existing entrance steps and landing	\$ 15,000.00	LS	1	\$ 15,000.00
	Flooring Demolition	\$ 8.00	SF	2528	\$ 20,224.00
	First Floor - Flooring preparation	\$ 1.25	SF	2528	\$ 3,160.00
	Ceiling - demolition	-	-	-	-
	Basement	\$ 1.50	SF	2060	\$ 3,090.00
	first floor	\$ 1.50	SF	2292	\$ 3,438.00
	2nd Floor	\$ 1.50	SF	2570	\$ 3,855.00
	Walls - finish and fixture removal	\$ 6,000.00	LS	1	\$ 6,000.00
	Miscellaneous removals allowance	\$ 4,000.00	LS	1	\$ 4,000.00
	Plumbing fixture demolition allowance	\$ 3,000.00	LS	1	\$ 3,000.00
	Masonry wall demolition	\$ 10.00	SF	570	\$ 5,700.00
	Interior partition wall demolition	\$ 5.00	LF	150	\$ 750.00
	Window removal	\$ 15.00	SF	30	\$ 450.00
	SUBTOTAL				\$ 68,667.00
Staff Restrooms + Janitor closet	Plumbing fixtures and piping	\$ 4,500.00	EA	3	\$ 13,500.00
	Toilet accessories - first floor	\$ 1,800.00	EA	1	\$ 1,800.00
	Relocate existing drinking fountain @ vestibule	\$ 2,500.00	EA	1	\$ 2,500.00
	SUBTOTAL				\$ 17,800.00
Walls	Exterior wall infill	\$ 100.00	SF	33	\$ 3,300.00
	Foundation walls - new	\$ 50.00	SF	185	\$ 9,250.00
	Masonry walls - new	\$ 40.00	SF	750	\$ 30,000.00
	Insulation/vapor barrier/etc.	\$ 7.50	SF	250	\$ 1,875.00
	Partition walls - new	\$ 225.00	LF	103.5	\$ 23,287.50
	SUBTOTAL				\$ 67,712.50
Elevator	Elevator - allowance per stop	\$ 75,000.00	EA	3	\$ 225,000.00
	Sump pump @ Elevator and Connect to storm drain	\$ 10,000.00	LS	1	\$ 10,000.00
	Excavation for elevator pit	\$ 10,000.00	LS	1	\$ 10,000.00
	Underpinning allowance	\$ 15,000.00	LS	1	\$ 15,000.00
	Structural steel	\$ 4.00	lb.	6000	\$ 24,000.00
	Roof decking	\$ 15.00	SF	90	\$ 1,350.00
	Membrane Roofing	\$ 60.00	SF	90	\$ 5,400.00
	Roof drains	\$ 15,000.00	LS	1	\$ 15,000.00
	SUBTOTAL				\$ 305,750.00
Stairs	Handrails and guard rail at stair #1	\$ 125.00	LF	50	\$ 6,250.00
	Handrails and guard rail at stair #2	\$ 125.00	LF	50	\$ 6,250.00
	SUBTOTAL				\$ 12,500.00
Finishes	Signage allowance	\$ 1,000.00	LS	1	\$ 1,000.00
	Ceiling - ACT - First Floor	\$ 9.00	SF	441	\$ 3,969.00
	Ceiling - GWB	\$ 15.00	SF	6922	\$ 103,830.00
	Ceiling - painting	\$ 3.50	SF	6922	\$ 24,227.00
	New 6" base + Wall painting	\$ 5.00	SF	8275	\$ 41,375.00
	Ceramic tile at restrooms	\$ 25.00	SF	57	\$ 1,425.00
	New floor finishes - First Floor	\$ 10.00	SF	2528	\$ 25,280.00
	Window shades	\$ 4,000.00	LS	1	\$ 4,000.00
	SUBTOTAL				\$ 205,106.00



Phase 1A (continued)

	Description	Unit price	QTY	Amt	Total
M/E/P	HVAC allowance	\$ 5,000.00	LS	1	\$ 5,000.00
	Lighting fixtures	\$ 14.00	SF	7267	\$ 101,738.00
	Lighting controls	\$ 1.50	SF	7267	\$ 10,900.50
	Electrical allowance	\$ 15,000.00	LS	1	\$ 15,000.00
	Fire Alarm modifications	\$ 10,000.00	LS	1	\$ 10,000.00
SUBTOTAL					\$ 142,638.50
Doors	Doors - Existing, paint + repair	\$ 1,000.00	EA	6	\$ 6,000.00
	Doors - new	\$ 2,000.00	EA	10	\$ 20,000.00
SUBTOTAL					\$ 26,000.00
Main Entrance	Excavation	\$ 60.00	CY	1100	\$ 66,000.00
	Exterior wall infill	\$ 100.00	SF	21	\$ 2,100.00
	Concrete ramp	\$ 175.00	SF	365	\$ 63,875.00
	New landing @ first floor	\$ 40.00	SF	112	\$ 4,480.00
	New concrete Stairs @ entrance	\$ 800.00	Riser	9	\$ 7,200.00
	Handrail and Guardrail	\$ 125.00	LF	171	\$ 21,375.00
	Areaway removal	\$ 5,000.00	LS	1	\$ 5,000.00
SUBTOTAL					\$ 170,030.00
Construction Allowances	Hardscape and landscape restoration	\$ 20,000.00	LS	1	\$ 20,000.00
	Temporary protection allowance	\$ 5,000.00	LS	1	\$ 5,000.00
	Caulking allowance	\$ 5,000.00	LS	1	\$ 5,000.00
SUBTOTAL					\$ 30,000.00
Fire Suppression System	Fire protection system @ main building	\$ 15.00	SF	7267	\$ 109,005.00
	Increase water service	\$ 25,000.00	LS	1	\$ 25,000.00
SUBTOTAL					\$ 134,005.00
Phase 1A				SUBTOTAL	\$ 1,180,209.00
General Conditions / Bond / O. H. & P.			18.0%	\$	212,437.62
Contingency			10.0%	\$	118,020.90
Escalation			N.I.C	\$	-
Total					\$ 1,510,667.52

Hazmat removal and/or remediation is not included



Phase 1B - First Floor Renovations, Gymnasium Wing

	Description	Unit price	QTY	Amt	Total
Demolition	Flooring Demolition	\$ 8.00 SF	5632	\$	45,056.00
	First Floor - Flooring preparation	\$ 1.25 SF	5632	\$	7,040.00
	ACT Ceiling - demolition	\$ 1.50 SF	807	\$	1,210.50
	Plumbing fixture demolition allowance	\$ 6,000.00 LS	1	\$	6,000.00
	Masonry wall demolition	\$ 10.00 SF	75	\$	750.00
SUBTOTAL					\$ 60,056.50
Public Restrooms @ Gymnasium	Plumbing fixtures and piping	\$ 4,500.00 EA	13	\$	58,500.00
	Toilet accessories - first floor	\$ 7,200.00 EA	1	\$	7,200.00
	Drinking fountain - New (ADA)	\$ 5,000.00 EA	1	\$	5,000.00
	Toilet partitions	\$ 2,500.00 EA	4	\$	10,000.00
SUBTOTAL					\$ 80,700.00
Walls	Partition walls - new	\$ 225.00 LF	21.5	\$	4,837.50
SUBTOTAL					\$ 4,837.50
Finishes	Restrooms - Ceramic tile	\$ 25.00 SF	384	\$	9,600.00
	Gym - Sports flooring	\$ 25.00 SF	4680	\$	117,000.00
	Gym - acoustic panels	\$ 45.00 SF	200	\$	9,000.00
	Gym - safety pads	\$ 10.00 SF	100	\$	1,000.00
	Signage allowance	\$ 1,000.00 LS	1	\$	1,000.00
	Ceiling - ACT - First Floor	\$ 9.00 SF	441	\$	3,969.00
	New 6" base + Wall painting	\$ 5.00 SF	8875	\$	44,375.00
	New floor finishes - First Floor	\$ 10.00 SF	176	\$	1,760.00
SUBTOTAL					\$ 187,704.00
M/E/P	HVAC allowance	\$ 5,000.00 LS	1	\$	5,000.00
	Lighting fixtures	\$ 14.00 SF	5630	\$	78,820.00
	Lighting controls	\$ 1.50 SF	5630	\$	8,445.00
	Electrical allowance	\$ 5,000.00 LS	1	\$	5,000.00
	Fire Alarm modifications	\$ 5,000.00 LS	1	\$	5,000.00
SUBTOTAL					\$ 102,265.00
Doors	Doors - Existing, paint + repair	\$ 1,000.00 EA	8	\$	8,000.00
	Doors - new	\$ 2,000.00 EA	2	\$	4,000.00
SUBTOTAL					\$ 12,000.00
Construction Allowances	Temporary protection allowance	\$ 5,000.00 LS	1	\$	5,000.00
SUBTOTAL					\$ 5,000.00
Fire Suppression System Gymnasium	Fire protection system @ gymnasium	\$ 15.00 SF	5630	\$	84,450.00
	Increase water service - included in Phase 1A	NIC	1	NIC	
SUBTOTAL					\$ 84,450.00
Phase 1B - Base Scope Subtotal					\$ 537,013.00
General Conditions / Bond / O. H. & P.			18.0%	\$	96,662.34
Contingency			10.0%	\$	53,701.30
Escalation			N.I.C	\$	-
Total Base Scope					\$ 687,376.64
Alternate #1 - First Floor Kitchen	First floor kitchen - Flooring Demolition	\$ 8.00 SF	247	\$	1,976.00
	First floor Kitchen - Flooring prep	\$ 1.25 SF	247	\$	308.75
	First floor Kitchen - Ceiling - ACT	\$ 9.00 SF	247	\$	2,223.00
	First floor kitchen - New 6" base + Wall painting	\$ 5.00 SF	603.25	\$	3,016.25
	First floor kitchen - New floor finishes	\$ 10.00 SF	247	\$	2,470.00
SUBTOTAL					\$ 9,994.00
Phase 1B - Base Scope Subtotal AND Alternate #1					\$ 547,007.00
General Conditions / Bond / O. H. & P.			18.0%	\$	98,461.26
Contingency			10.0%	\$	54,700.70
Escalation			N.I.C	\$	-
Total with Alternate #1					\$ 700,168.96

Hazmat removal and/or remediation is not included



Phase 2 - Second Floor Renovations

	Description	Unit price	QTY	Amt	Total
Demolition	Flooring Demolition - Second Floor	\$ 8.00	SF	2949	\$ 23,592.00
	Flooring Preparation - Second Floor	\$ 1.25	SF	2865	\$ 3,581.25
	Walls - finish and fixture removal	\$ 2,000.00	LS	1	\$ 2,000.00
	Miscellaneous removals allowance	\$ 1,500.00	LS	1	\$ 1,500.00
	Plumbing fixture demolition allowance	\$ 3,000.00	LS	1	\$ 3,000.00
	Interior partition wall demolition	\$ 5.00	LF	50	\$ 250.00
	Kitchen Cabinet demolition	\$2,000	LS	1	\$ 2,000.00
SUBTOTAL					\$ 35,923.25
Restrooms	Plumbing fixture and piping	\$ 4,500.00	EA	4	\$ 18,000.00
	Toilet accessories	\$ 3,000.00	EA	1	\$ 3,000.00
SUBTOTAL					\$ 21,000.00
Walls	Exterior wall infill	\$ 100.00	SF	20	\$ 2,000.00
	Partition walls - new	\$ 225.00	LF	40	\$ 9,000.00
SUBTOTAL					\$ 11,000.00
Finishes	Signage allowance	\$ 1,000.00	LS	1	\$ 1,000.00
	Ceiling - ACT - Second Floor	\$ 9.00	SF	441	\$ 3,969.00
	New 6" base + Wall painting	\$ 5.00	SF	23600	\$ 118,000.00
	New floor finishes - Second Floor	\$ 10.00	SF	2360	\$ 23,600.00
	Ceramic tile at restrooms	\$ 25.00	SF	57	\$ 1,425.00
	Window shades	\$ 4,000.00	LS	1	\$ 4,000.00
SUBTOTAL					\$ 151,994.00
Kitchen Upgrades	Exhaust/fire suppression at kitchens	\$ 60.00	SF	150	\$ 9,000.00
	Kitchen Cabinets	\$10,000	LS	1	\$ 10,000.00
	Kitchen Upgrades	\$ 10,000.00	LS	1	\$ 10,000.00
SUBTOTAL					\$ 151,994.00
M/E/P	HVAC allowance	\$ 5,000.00	LS	1	\$ 5,000.00
	Electrical allowance	\$ 10,000.00	LS	1	\$ 10,000.00
	Fire Alarm modifications	\$ 5,000.00	LS	1	\$ 5,000.00
SUBTOTAL					\$ 20,000.00
Doors	Doors - Existing, paint + repair	\$ 1,000.00	EA	7	\$ 7,000.00
	Doors - new	\$ 2,000.00	EA	6	\$ 12,000.00
SUBTOTAL					\$ 19,000.00
Construction Allowances	Temporary protection allowance	\$ 2,000.00	LS	1	\$ 2,000.00
	Caulking allowance	\$ 2,000.00	LS	1	\$ 2,000.00
SUBTOTAL					\$ 4,000.00
Phase 2				SUBTOTAL	\$ 414,911.25
General Conditions / Bond / O. H. & P.			18.0%	\$	74,684.03
Contingency			10.0%	\$	41,491.13
Escalation			N.I.C.	\$	-
Total					\$ 531,086.40



Phase 3 - Basement Renovations

	Description	Unit price	QTY	Amt	Total
Demolition	Flooring Demolition	\$ 8.00	SF	2183	\$ 17,464.00
	Flooring Preparation	\$ 1.25	SF	2183	\$ 2,728.75
	Walls - finish and fixture removal	\$ 2,000.00	LS	1	\$ 2,000.00
	Miscellaneous removals allowance	\$ 1,500.00	LS	1	\$ 1,500.00
	Interior partition wall demolition	\$ 5.00	LF	5	\$ 25.00
	Kitchen Cabinet demolition	\$2,000	LS	1	\$ 2,000.00
SUBTOTAL					\$ 25,717.75
Restrooms	Plumbing fixture and piping	\$ 4,500.00	EA	3	\$ 13,500.00
	Toilet accessories	\$ 3,000.00	EA	1	\$ 3,000.00
SUBTOTAL					\$ 16,500.00
Walls	Partition walls - new	\$ 225.00	LF	42	\$ 9,450.00
SUBTOTAL					\$ 9,450.00
Finishes	Signage allowance	\$ 1,000.00	LS	1	\$ 1,000.00
	Ceiling - ACT @ Basment	\$ 9.00	SF	150	\$ 1,350.00
	New 6" base + Wall painting	\$ 5.00	SF	5890	\$ 29,450.00
	New floor finishes	\$ 10.00	SF	2121	\$ 21,210.00
	Ceramic tile at restrooms	\$ 25.00	SF	62	\$ 1,550.00
	Window shades	\$ 4,000.00	LS	1	\$ 4,000.00
SUBTOTAL					\$ 58,560.00
Kitchen Upgrades	Exhaust/fire suppression at kitchens	\$ 60.00	SF	88	\$ 5,280.00
	Kitchen Upgrades	\$ 10,000.00	LS	1	\$ 10,000.00
SUBTOTAL					\$ 15,280.00
M/E/P	HVAC allowance	\$ 5,000.00	LS	1	\$ 5,000.00
	Electrical allowance	\$ 5,000.00	LS	1	\$ 5,000.00
	Fire Alarm modifications	\$ 5,000.00	LS	1	\$ 5,000.00
SUBTOTAL					\$ 15,000.00
Doors	Doors - Existing, paint + repair	\$ 1,000.00	EA	13	\$ 13,000.00
	Doors - new	\$ 2,000.00	EA	5	\$ 10,000.00
SUBTOTAL					\$ 23,000.00
Construction Allowances	Temporary protection allowance	\$ 2,000.00	LS	1	\$ 2,000.00
SUBTOTAL					\$ 2,000.00
Phase 2					SUBTOTAL \$ 165,507.75
General Conditions / Bond / O. H. & P.			18.0%	\$ 29,791.40	
Contingency			10.0%	\$ 16,550.78	
Escalation			N.I.C.	\$ -	
Total					\$ 211,849.92

Summary of Costs:

Phase 1A	\$ 1,510,667.52
Phase 1B	\$ 687,376.64
Phase 1B Alternate	\$ 12,792.32
Phase 2	\$ 531,086.40
Phase 3	\$ 211,849.92
TOTAL:	\$ 2,953,772.80